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THE GREENBRIER SPORTING CLUB

COMMUNITY

1.1 VISION STATEMENT

The Greenbrier Sporting Club is a master planned, private residential community developed on the grounds of the historic Greenbrier Resort in White Sulphur Springs, West Virginia. At completion, the Community will contain about 500 residences carefully placed on the Resort's 11,000-acre estate. Members of the Community will have access to the Resort's world-class facilities. In addition, the Community has its own private facilities, including a golf course designed by Tom Fazio, a lodge with dining and spa, tennis, squash and fitness facility, equestrian center and mountain top amenities that include a Lodge with dining, outdoor pool and an indoor sports court/event venue. Club staff includes fishing and outdoor pursuit guides as well as a full-time naturalist.

Additional planned amenities at our newest neighborhood, Oakhurst, and for future use by our members include: a well-appointed clubhouse, dining facilities, pro shop, outdoor pool, ski and snowboard facilities, and more.

The low density of the Community's development and the commitment to enhancing and preserving the natural assets of the Estate will ensure lasting beauty and value for all property owners and Community members.

The development of the Community reflects the same principles that have shaped The Greenbrier Resort: an appreciation for nature, the love of sportsmanship, and the importance of maintaining family traditions. Community values such as the spirit of friendship and camaraderie among members, balanced with a respect for individual privacy and the opportunity for the peaceful enjoyment of one's property, will be underscored. Guided by these enduring principles, the Community aims to extend the successful legacy of the famed resort into the 21st Century.

1.2 ARCHITECTURE AND TRADITION

Architectural continuity and a respect for context are important precepts in the development of the Community's physical environment. Accordingly, homes will be shaped in a style sympathetic to either The Greenbrier's classically inspired architecture or the rugged beauty of the Allegheny Mountains. The location of the home will largely determine the recommended stylistic approach. Generally, those residences set within the Hotel Park will follow the design traditions of the classic Greenbrier cottage. These homes, some dating to the early 19th Century, are of simple outward form with elegant interiors. Generous, welcoming porches provide a comfortable platform from which to enjoy views of the surrounding mountains, playing fields and landscape of The Greenbrier Estate.

For sites located at a distance from the Hotel Park, the style of a home should be more reflective of the surrounding mountain environment. In these cases, the use of natural materials and earthen colors native to the wooded mountainside will permit the home to blend gracefully with its surroundings. Though more casual in their architectural style, these vernacular homes will maintain the essence of The Greenbrier's historical commitment to the finest quality materials, design and workmanship.

1.3 PRESERVING THE NATURAL ENVIRONMENT

The natural beauty of The Greenbrier landscape will be preserved and enhanced as the Community grows. Landscaping plans for private residences should uphold this pledge to enhance the native habitat by using mature indigenous vegetation. Wherever possible, trees should be preserved and protected to enhance the beauty and value of properties within the Estate. Mature trees should be especially guarded and utilized to give shade and shelter to homes.

2

HISTORY OF THE GREENBRIER

2.1 THE GREENBRIER: 1778 TO THE PRESENT

Upon entering the grounds of The Greenbrier, one immediately senses a place rooted in a time well before our own. Over two centuries ago, The Greenbrier began as a neat little mountain village in the wilderness; that is, a cluster of simple cottage rows built around a spring of health-restoring mineral water. The White Sulphur Spring was the original lure, but from the earliest days a lively social scene set in a beautiful upland valley created a special enclave in these Allegheny Mountains.

In 1800 these mountains were barely penetrable, but as transportation improved, individuals who found their way to this small valley wanted to return. In the years before the Civil War many were willing to pay sums anywhere from \$150 to \$2000 to purchase private summer homes along ridges overlooking the broad central lawn that still forms the emotional heart of The Greenbrier. They came here seeking a place of rest and relaxation and formed — in the 19th century — a summer community.

Populated each summer by judges, planters, ministers, bankers, senators, lawyers, editors and the like, Americans came to recognize The Greenbrier community as the most important Southern social rendezvous. The resort became famous as a retreat for Presidents John Tyler and Martin Van Buren, General Robert E. Lee, Senator Henry Clay of Kentucky, and banker-turned-art patron W.W. Corcoran.

The residential architecture of the resort originally consisted of cottage rows — many of which still stand today — including Paradise Row, Alabama Row, and Baltimore Row. Baltimore Row was designed by John H.B. Latrobe, a Baltimore lawyer who was the son of the famed architect Benjamin Latrobe. His style extended to the later Tansas, South Carolina and Florida Rows, and is the basis for the design of the new Copeland Hill cottages.

After the 1869 arrival of the Chesapeake & Ohio Railway, life centered on the porch and in the ballroom of the large brick hotel set in the middle of the property, The Old White Hotel. In 1910, the railroad purchased the historic resort property and embarked upon a major expansion. By 1913 it had added The Greenbrier Hotel (the central portion of today's hotel), a new Mineral Bath Department (the building that includes the Indoor Pool) and an 18-hole golf course (now called The Old White Course) designed by the most prominent golf architect of the day, Charles Blair Macdonald.

Cleveland architect Philip Small later redesigned the hotel's Main Entrance, and added both the Virginia Wing to the South (with porch lines echoing Mount Vernon) and what is now the signature North Entrance façade. Small's design combined elements from the resort's Southern historical roots and motifs from The Old White Hotel.

The addition of golf helped transform the resort's social agenda in the first half of the 20th Century. The Greenbrier re-assumed its favored position in the fashionable resort circuit as society sped by train to White Sulphur Springs, especially those migrating between a winter home in Palm Beach, Florida and a summer home in Newport, Rhode Island.

In World War II, The Greenbrier was put to two quite different uses by the U.S. Government. The State Department leased the hotel for seven months after the U.S. entry into the war and used it to intern German, Japanese and Italian diplomatic personnel, along with their families, until they could be exchanged for American diplomats stranded overseas. In September 1942 the U.S. Army purchased The Greenbrier, converted it into a two thousand bed hospital, and renamed it Ashford General Hospital. For four years the resort served as a surgical and rehabilitation center and 24,148 soldiers were admitted and treated at the facility.

Following World War II, Chesapeake and Ohio Railroad reacquired the hotel (1946) and initiated a comprehensive redecoration of the hotel interior by the noted decorator Dorothy Draper. The origin of The

Greenbrier's distinctive décor goes back to Draper's legendary post-war redecoration when she was at the peak of her fame. As *Architectural Digest* described her, she was "a true artist of the design world [who] became a celebrity in the modern sense of the word, virtually creating the image of the decorator in the popular mind."

When the redecorated Greenbrier Hotel reopened after the war in 1948, Sam Snead returned to where his career had begun in 1936. From 1993 until his death in 2002, he served as The Greenbrier's Golf Pro Emeritus. More than any other individual, he solidified The Greenbrier's reputation as one of the foremost golf resorts in the world.

Remarkably, throughout these dramatic developments The Greenbrier retained its characteristic charm, style and ambience. Today, The Greenbrier's historical antecedents are very much in evidence: the deep-seated heritage of Southern hospitality, the health-wise ways of European spas, the sporty lifestyle of American country clubs, and an impressive record of service to our country. The Greenbrier Sporting Club revitalizes another centuries-old tradition, that of private home ownership in a secluded and splendid mountain setting.

3

ARCHITECTURAL REVIEW BOARD

3.1 STATEMENT OF PURPOSE

Control of architectural and landscape design is guided by the Architectural Review Board (ARB), a permanent committee of The Greenbrier Sporting Club Community Association (“the Community”). The ARB shall administer and perform all architectural and landscape review and control functions on behalf of the Developer, for The Greenbrier Sporting Club Community Association the Oakhurst Community Association and The Greenbrier Village Homeowner’s Association.

An Owner of a lot within The Communities is required to obtain the approval of the ARB for any construction on the lot, as well as for any alteration of its landscape and vegetation. This also applies to any exterior changes or landscape changes after a home has been completed.

Neither The Greenbrier Sporting Club Development Company, Inc. (“Developer”), Greenbrier Hotel Corporation (“GHC”), The Greenbrier Sporting Club Architectural Review Board (“ARB”), The Greenbrier Sporting Club, Inc. (“Club”), The Greenbrier Sporting Club Community Association (“Association”), their respective members, officers, directors, owners, employees or agents, including Developer’s sales agents (collectively, the “Developer Group”) gives no representations or warranties, express or implied, with respect to the quality of the performance, engineering, construction, workmanship, including all materials, hardware, and fixtures required for any construction and/or alteration within the Community.

The ARB exercises control in order to:

- Protect and enhance the aesthetics of the owner’s property as well as that of neighboring properties
- Oversee a harmonious development of the communities
- Preserve and enhance the natural environment and beauty of the Community’s and community properties
- Preserve and enhance the privacy and tranquility of individual homesites
- Assist Owners in obtaining maximum utilization and enjoyment of their property within the applicable rules of the Community’s

3.2 FUNCTIONS OF THE ARB

All aspects of architecture and landscaping are subject to review and approval by the ARB. The authority for the establishment of the ARB is provided by the Planned Community of The Greenbrier Sporting Club Community (the “Declaration”). The ARB has adopted these Design Guidelines and Procedures (“Guidelines”) to serve as a guide for the review and control process. The Guidelines and their associated fees may be amended at any time by the ARB. No prior notices or announcements will be required to amend the Guidelines and the ARB has no obligation to circulate such revisions.

Until 100% of the Community has been developed and conveyed to owners other than the developer, the developer has the right to (a) change the number of members on the ARB, (b) appoint all members of the ARB, and (c) remove and/or replace all members appointed to the ARB.

The ARB will conduct formal reviews and provide constructive guidance during essential stages of the design process, as well as engage in review with the architect, landscape designer, general contractor and Owner during the construction process. The ARB will inspect and monitor the construction through the completion of the project for compliance with the plans and specifications approved by the ARB.

The approval of architectural and landscape plans may be denied by the ARB upon any grounds, including those that are purely aesthetic.

The ARB is empowered to promulgate, publish or modify the Guidelines for any improvements located on residential lots and/or common areas owned by the Community's.

Each member of the ARB shall have an equal vote and the majority of those present in person or by teleconference or by written proxy shall constitute a decision for approval or denial of an application. In the event of a tie vote, the Chairperson shall be weighted by a factor of 1.5 so as to allow the Chairperson to cast the deciding vote.

A majority representation of the ARB in person, by teleconference or by written proxy constitutes a quorum for an application to be reviewed. In the event that the Chairperson of the ARB is unable to participate in a decision, he will nominate someone to act on his behalf.

3.3 ARB RESPONSIBILITIES

The responsibilities of the ARB are as follows:

- Establish and amend the Guidelines
- Review all applications for compliance with the Guidelines and with the Declaration
- Review exterior and landscape design themes of all houses and other exterior and landscape improvements on the lots in the Community's
- Ensure architectural and landscape designs that are in harmony with the natural environment and neighboring building sites
- Promote high standards of design
- The ARB has the authority to grant variances at its own discretion

3.4 RESPONSIBILITIES OF THE APPLICANT OR OWNER

The ARB assumes no liability for the responsibilities of the Applicant or Owner. These responsibilities of the Applicant or Owner include the following:

- Accuracy of all stakeouts and surveys
- Complying with environmental restrictions, runoff protection, drainage and grading requirements, and all surface and subsurface soil conditions
- Performance of any contractor, subcontractor, architect, designer or consultant
- Final structural, mechanical, electrical design, and all other technical aspects of the proposed work
- Compliance with the Declaration and the Guidelines
- Compliance with all laws, codes, and ordinances of governmental agencies and bodies
- Deposits, fees and fines if applicable

3.5 LIABILITY

To the fullest extent permitted by law, the property owners shall hold harmless The Developer, GHC, ARB, Club, Association and their respective affiliates, parents, subsidiaries, owners, officers, directors, employees and agents from and against all claims, damages, demands, losses, expenses, fines, causes of action, suits or other liabilities, (including all costs reasonable attorneys' fees, consequential damages, and punitive damages), arising out of or resulting from, or alleged to arise out of or arise from any decisions or actions taken by ARB, whether such claim, damage, demand, loss or expense is attributable to bodily injury, personal injury, sickness, disease or death, or to injury to or destruction of tangible property, including the loss of use resulting therefrom.

4

DESIGN PHILOSOPHY

4.1 DESIGN PHILOSOPHY

The growth of the resort with the launching of The Greenbrier Sporting Club confers a rich legacy of architectural tradition on Club members. With this legacy comes a responsibility to maintain the design philosophy that has guided much of the development of the resort over the centuries. Continuity with the best the past has to offer and respect for the natural environment form the cornerstones of this philosophy. It is therefore important that Owners, design professionals and builders endeavor to follow these principles assiduously as they conceive, design and construct new residences in the Community's.

Accordance with architectural tradition and a desire to minimize impact on the natural environment are not intended to preclude design creativity among Club members and their respective design teams. The work of architects throughout history demonstrates that employing a common language or philosophy of design is no more restrictive to the human imagination than using a shared grammar and vocabulary is to writing great literature. At the same time, a commonality of design approach helps to ensure that buildings express the values of a larger community, rather than solely the whims of an individual designer or Owner.

In that spirit, the material put forth in the Club Guidelines is meant to guide rather than dictate design. It balances the desire for community and deference to The Greenbrier environment with the needs and aspirations of individual Owners. The ARB is pledged to work with Owners and their architects as required to achieve this balance of the common good and private enjoyment.

4.2 ARCHITECTURAL STYLES AND THE GREENBRIER SPORTING CLUB IMAGE BANK

The concept of architectural style refers to recurring patterns of composition that are evidenced across a spectrum of work, whether that of an individual designer or a group of architects working in a similar manner. These patterns comprise a range of design components, including proportion and scale, relationship to site, ornament and detail, materials, massing, door and window treatments, and so forth. Recognizable styles are frequently given names; Shingle, Craftsman, Adirondack, Georgian and Palladian are just some of the terms that have been created over the centuries to unify buildings with a common design approach.

To assist Owners and designers in the development of new residences at the Club pictorial portfolios of buildings considered appropriate for The Greenbrier environment have been assembled in an Image Bank and loaded onto a CD-Rom. Disks are available to Owners and their design team, all of whom are encouraged to review its contents before and during the design process. While an Owner's particular vision for a new residence will not necessarily be perfectly captured in any single image, the portfolios convey the sort of design sensibilities that private houses are expected to embrace. Owners and architects also are welcome to interpret or synthesize the various design models in fresh and imaginative ways, while respecting the fundamental principles of traditional building on which these houses are based.

4.3 MODEL BUILDING STYLES: THE VERNACULAR AND THE CLASSIC

The Image Bank CD-Rom offers two sets of images as sources of inspiration for designing residences in the Community: Classic and Vernacular. In the latter category are found houses variously categorized as Greenbrier Valley Regional, Adirondack, and Log, Shingle Style, or Craftsman homes. Examples of rustic cabins and other structures executed in an informal vernacular can also be found in this portfolio. In the Classic portfolio are residences patterned on the classical tradition of architecture. A summary of these two architectural approaches follows.

Classic

The classical mode of architecture was born in ancient Greece more than 2,500 years ago. It first appeared in the context of Pagan temples, where it was employed to give monumental expression to religious belief. An extraordinarily resilient architectural system, classicism has endured the enormous cultural changes experienced in different times and places since then and remains a viable design approach today.

The signature element of classical architecture is a type of support known as the order. An order is an assembly of a column and its superstructure, called the entablature. The various pieces that make up these primary members have been codified with respect to their shape and relative sizes. Together they embody systems of proportion that then regulate the shapes of the building on every level, from plan to elevation to detail.

The classical tradition was imported into America in the 18th Century by the first European settlers, and was subsequently adopted by the country's founders as the language of democracy. Jefferson's capitol building in Richmond, Virginia, the United States Capitol in Washington D.C., and scores of other public buildings constructed in the first years of the new nation demonstrate the historical connection between America and the classical tradition.

Classicism was embraced in residential applications as well. Houses embellished with classical elements appeared in the original colonies, and spread from there as the country expanded. Often the fully articulated vocabulary of the column and entablature was simplified in varying degrees to reflect the modest circumstances of small rural dwellings commonly built by local carpenters and builders. Examples of both high and low-style classical design can be found at The Greenbrier. The cottages along Artisan's Row embody the simple, even folk quality of vernacular classicism, whereas The Colonnade Estate House, on the grounds of the Greenbrier Hotel, utilizes an elaborated classical order to impart an impression of grandeur and sophistication.

Vernacular

This portfolio comprises several different representations of vernacular building as they have developed in American architecture of the past 200 years. Many of these styles draw from the following:

Greenbrier Valley Regional

The architecture of the Greenbrier River Valley and the area within Greenbrier County and its neighboring counties relies on a simple use of local materials and hand-crafted into many of the historic structures that one sees in Lewisburg, Alderson, Maxwelton, Ronceverte and White Sulphur Springs itself. The designs are simple and the details are often left to the imagination of the builders as most of these structures were constructed without architectural plans. In addition to its use on the "body" of a structure, brick was also used for protecting cornices.

The predominant architectural "style" in the Greenbrier Valley is a late-Federal/early Greek revival characterized by large-paned windows and moderately steep roofs. Chimneys were relatively unadorned and were mostly flush with the exterior wall for brick buildings. Often local limestone was used for the foundations and the stones themselves were quite large and roughly cut. Larger frame houses which tended to occur in the mid-to-late 19th Century, carried on the Greek revival style and became simplified into what is often referred to as the I-House configuration.

While most of Greenbrier Valley's earliest homes were log construction, the builder often covered the exterior walls with weatherboards to shed water and preserve the logs.

Houses tended to be either one or two-story with an attic and/or a basement. One and a half story (traditional "Tidewater Virginia-Style") were not as prevalent.

Adirondack and Log

The Adirondack style was born in the late 19th Century on the six million acre Adirondack Park in upstate New York. Its impetus was the discovery of the lake-filled and wooded district's natural beauty by wealthy Americans in search of a bucolic retreat from daily life. Many of these individuals built substantial houses and in some cases

compounds, known to Adirondackers as camps. Large hotels were also constructed, as were smaller cabins for less affluent homeowners. Recognizable features of the Adirondack vocabulary are: logs used either as siding or structural building elements; exposed beams and framing members; fieldstone chimneys and foundation walls; large roof areas, typically gabled; varied massing and a picturesque silhouette; open interior planning; large double-height spaces, often open to the roof, for principal rooms; strongly grained woods, stone and black iron for interior finishes. Adirondack houses are best suited for wooded and sloped sites.

Although the Adirondack style often features log elements, building with timber walls is an American tradition that goes back long before it became fashionable at the turn of the last century. Specific building techniques varied among the different immigrant groups that brought them here in the earliest waves of migration. Factors like local climate, available woods, construction skills and cultural heritages all contributed to the variety found in surviving log buildings. Other than the fact that the exterior walls of a structure are made out of logs, however, there are few architectural features of the Log style that are specifically associated with this type of construction. Today log construction, or a simulation of it, can be applied freely to residential and other building types designed in a wide variety of sizes and configurations.

Shingle

The Shingle Style flourished in the last decades of the 19th Century, and lay dormant until resurrected by architects in the early 1980s. Its popularity in its original and later phases is closely associated with vacation and retreat homes, since it is frequently employed in the context of seaside resorts and bucolic settings. Summer destinations such as eastern Long Island, Cape Cod, Newport and coastal Maine have among the highest concentration of these kinds of dwellings.

The Shingle Style evolved from a variety of sources, including the classical. From the American colonial legacy it borrowed a fondness for gambrel roofs, classical details and Palladian windows. Irregular massing and a varied skyline were qualities picked up from the work of Henry Hobson Richardson. Sidewall shingling, deep and extensive porches and asymmetrical forms were common features of houses from the contemporary Queen Anne period. Its predilection for the open plan, where rooms flow easily from one to the other while maintaining a degree of spatial definition, is another defining characteristic of the Shingle Style, and one particularly suited to the informal living typical of a resort environment.

Although not a coastal location, the hilly terrain, bucolic setting and recreational nature of The Greenbrier Sporting Club suggest a sympathetic context for houses inspired by aspects of the Shingle Style.

Craftsman

Craftsman houses can ultimately be traced back to the work of two California designers who happened to be brothers – Charles Sumner and Henry Mather Greene. Active primarily in the Pasadena area, their firm, Greene and Greene, operated from 1893 to 1914. The houses they produced reflect influences from the English Arts and Crafts movement, wooden buildings of the Far East, and their own backgrounds in the manual arts. Following extensive publication of their work, the Craftsman style permeated the country, often by means of pattern books offering plans and details for the construction of modestly sized houses.

The Craftsman mode is characterized by: low pitched gable roofs, sometimes hipped, with broad overhangs; projecting beam ends or brackets at eaves; full or partial width front and side porches, with tapered square columns supporting a roof; wood clapboard and shingles for sidewall cladding; ganged window units; large dormers; and asymmetrical massing. More elaborate Craftsman interiors are notable for the extensive use of stained wood as a finish material on walls and ceilings.

4.4 PROHIBITED AND REPETITIVE DESIGNS

Imported or non-vernacular styles that do not reflect the architecture of The Greenbrier or are not harmonious with the native environment are not permitted. Tudor, Italianate, and Mediterranean styles are among those architectural categories that can be considered imported insofar as they do not fit with either the classic tradition of The Greenbrier or the vernacular of the Allegheny Mountain region.

Equally discouraged are those architectural patterns commonly associated with the more negative qualities of conventional post-war suburban sub-divisions. These patterns include:

- changing planes excessively in order to generate multiple gables and roof outlines
- capriciously angled plans and volumes
- juxtaposing architecturally unrelated details and elements in façades
- lack of attention to side and secondary elevations
- an irrational use of many different cladding materials
- ersatz materials, details and building components
- insufficiently deep porches as needed for actual use, or lack of porches
- an over-emphasis on garage doors at the expense of the entry door
- generally over-scaled or unattractive proportions, such as the exaggerated vertical proportions around the entry door and interior stair hall
- lack of attention to site conditions derived from mass production design

Within the boundaries of The Greenbrier, it has been traditional for rows of similar cottages to be built. That pattern will be repeated in certain neighborhoods. In neighborhoods of custom home designs, each home should be largely unique in its design while harmonious to its native and built environment. For specific information on individual neighborhood parameters refer to the Design Standards Matrix located in the forms section of Guidelines.

4.5 DESIGN AND NEIGHBORHOODS

With its substantial acreage, varied terrain and different amenities, the property to be developed for residential use by the Community is physically diverse. The master plan generated for the Community reflects this diversity by envisioning a series of neighborhoods composing the Community, each reflecting the circumstances of its environment. While many of the guidelines developed in this manual are applicable to Owners and designers working anywhere within the Community, in some instances the Guidelines have been varied from neighborhood to neighborhood to ensure that they are consistently feasible. Guidelines that necessitate variation based on location are addressed in the Design Standards Matrix or are addressed specifically in the Guidelines.

With regards to design, each neighborhood has been assigned either the Classic or Vernacular portfolio as the preferred template for designing homes on sites contained within its boundaries. Owners and designers should consult the Design Standard Matrix or to determine the portfolio relevant to their site prior to initiating design.

5

SITE DEVELOPMENT

5.1 ANATOMY OF THE SITE

To preserve the natural features of each lot, such as views and significant existing plant materials, each residence must be individually sited to minimize disruption of the existing environment.

Before going into more detail on site planning, it is important to understand the anatomy of the site.

The Building Envelope is that portion of the Lot where all major improvements are to be built. The Building Envelope concept has been created to provide the maximum amount of flexibility in siting structures, while preserving significant natural areas and view corridors. No hard-scape construction is allowed at any time outside of the Building Envelope without a variance.

The Building Envelope shall be proposed by the Owner as the area necessary to complete the proposed building, landscape and utility improvements. The Building Envelope will be determined based on the natural features of the lot, views, topography, significant vegetation and relationship to the building envelopes of adjacent lots.

The Building Envelope must lie within the designated setbacks with one exception: the Building Envelope may overlap the front yard setback to allow access to the main road via a driveway, arrival court, walkway, entry gate or light open air structure.

5.2 VIEW CORRIDORS

The Owner should consider the potential impact of future homes and improvements on nearby lots upon the views and privacy of the Owner's home. Conversely, Owners should consider the impact of their home on their neighbors.

The following guidelines should be observed:

- The ARB may approve view corridor to be opened, however consideration will be based on view corridors that affect a neighboring lot or is the focus of a neighbor's lot
- Consideration must be given to views from adjoining homesites; accessory structures or landscaping which blocks off views across lot corners are discouraged
- Driveways and garages should not dominate the street side or entry experience of any homesite, or intrude upon the views from primary living and entertaining areas; garages generally should not directly face the street
- Construction should be sited to minimize impact of views from the Greenbrier Hotel, Club facilities and Common Elements

Other site planning considerations include:

- Orienting structures to the daily and seasonal paths of the sun. This includes evaluating the daytime versus nighttime quality of views and arranging living spaces to correspond to these varying conditions.

5.3 SITE WORK

All site work must take place within the designated construction zone which will be determined by the ARB and will be shown upon the site plan.

Alterations to the site should be as minimal as possible. Care should be taken to protect existing watershed and drainage ways wherever practical. Limit structures to the area on the site where drainage, soil and geological conditions will provide a safe foundation. Soil analysis should be obtained to ensure proper foundation design.

5.4 TREE POLICY

Careful preservation of existing trees is one of the most important considerations in the Community. Trees help provide a buffer for the house, whether viewed from the adjacent road or as part of a vista from remote points. Where trees are lacking, or improperly removed during the construction process, the impression created is that someone with little sensitivity has “clear-cut” the lot to set the house apart from its natural environment.

In selecting the “footprint” (geometrical boundary) of a new house or of an addition to an existing home, owners and their architect are strongly urged to make such decisions to minimize the need for the removal of large trees. The ARB is particularly interested in the preservation of “specimen” trees; namely, oak trees and other slow-growing hardwood species. A Certified Professional Arborist is required to be employed by an Owner or his architects to prepare a plan identifying the trees to be preserved and provide a method for their protection during and after construction.

No trees of six (6) inches and greater diameter and two (2) inches and greater diameter, trunk/stem, for flowering trees, are to be removed without written permission by the ARB. See Section 10.13 regarding tree removal permission requirements.

5.5 GENERAL SITE CLEARING REQUIREMENTS

While the natural topography in the Community varies considerably from lot to lot, the following general limitations will be applied by the ARB in the absence of special circumstances:

- Cut and fill slopes must not be exposed following completion of construction and shall be required to be stabilized and reforested for erosion control
- No change in natural or existing drainage patterns for surface waters shall be made upon any lot that could adversely affect the Owner of another lot
- No protected plants shall be damaged, destroyed, or removed from any lot, although such inside the Building Envelope may be relocated
- Excess excavated material or material unsuitable for filling or grading operations, miscellaneous refuse or other items indicated to be removed shall be disposed of off-site in compliance with local codes and ordinances
- The ARB is not responsible for engineered fill or stabilization done by the Developer

5.6 SITE GRADING AND DRAINAGE

When an existing drainage system is available you are required to tie into that system at your own expense, perhaps including raising or lowering man holes and other parts of the existing system. Once a preliminary plan is defined, it is recommended that the corners of the building be staked out on the ungraded site and elevations taken at each corner with a transit. With this information, it is often possible to determine exactly how to further adjust the design to conform to the existing contours. Site grading and drainage plans must be designed by a qualified Civil Engineer so as to not affect neighboring lots. Consideration may be given to drainage going outside the lot at the property owner’s expense.

Typically, residences should be nestled into the land so as to integrate with the site rather than sit perched upon it. Follow existing contours and achieve a balance of cut and fill wherever possible. When the construction is finished, the earth around the residence and site walls should lie against the walls as near as possible to the original angle of slope.

Site grading and drainage must be executed with the goal of minimum disruption to the lot. Owners are to observe the following guidelines:

- All site grading and drainage controls should occur within the construction zone of the Lot
- Prior to pre-construction site grading, the top layer of organic matter or topsoil shall be scraped away from the building area of the homesite; this organic matter shall be stockpiled on the lot in the construction zone for later use in the finished site grading as applicable
- The Owner shall minimize site grading in the construction zone to lessen the impact of soil erosion
- The design should take advantage of the natural contours of the land and use swales and depressions to direct water flow
- Carefully consider site drainage and building runoff; avoid unnatural modifications of existing drainage
- Swales or channels shall be planted with ground cover or grasses to stabilize and control soil erosion; asphalt swales or channels are not permitted
- The use of underground pipe to channel water is acceptable; however, the design should provide for flow controls at the point where water is discharged from the system
- The design of water recycling systems to aid in water conservation is encouraged

5.7 SOIL REQUIREMENTS

It is highly recommended that each lot Owner submit samples to a soil testing laboratory to certify that the existing topsoil as well as any topsoil brought in from off site is suitable for planting purposes, and amend topsoil as needed to comply with laboratory recommendations.

5.8 IRRIGATION SYSTEMS AND WELLS

It is highly recommended that consideration is given to the installation of an automatic irrigation system for lawn areas as well as certain planting beds in order to adequately preserve the integrity of the lawn and plant material as well as for the efficient use of water. The drilling of wells is not allowed in any neighborhoods.

5.9 BUILDING SETBACKS

Building setbacks are established for each neighborhood and are identified on the Design Standards Matrix.

A variance may be granted by the ARB at its sole discretion for encroachment within a designated setback for a hardship that cannot be overcome by alternative siting, reduction in footprint, or other creative design options. It will be the responsibility of each Owner to submit the proper design documents to the ARB for approval and to justify the variance.

6

ARCHITECTURAL GUIDELINES

6.1 BUILDING SIZE

For maximum net square footages for homes in each neighborhood, consult the accompanying Design Standards Matrix. The maximum square footages for homes that involve lot combinations will be based on a case by case basis.

The maximum square footage of a home varies; consult the Design Standards Matrix for information on each neighborhood. Square footage is defined as conditioned space, i.e., “under air”; porches, garages and other non-conditioned areas outside the conditioned building envelope are excluded from square footage. For purposes of calculating square footage the National Association of Home Builders method for calculating ANSI Z765-2003 should be used. A basement shall not be included in the square footage calculation. A basement is defined as an area with 100% of one wall and a minimum of 50% of the two side wall elevations below grade as calculated from proposed grade to the proposed first floor finish floor, provided that the house location and proposed grades meet the requirements of Section 5.6. If this area does not qualify as a basement, then it will be included in the maximum allowed conditioned space as per the Design Standards Matrix. All size and massing of structures are subject to ARB approval. In cases of extreme slope, the ARB will consider relief from the specific requirement of a basement definition on a case by case basis.

Outbuildings may be physically connected to the main residence by a finished roofed structure provided that the connection is not enclosed.

6.2 BUILDING HEIGHT

Height restrictions, other than those dictated by applicable building codes and regulations, will be determined for each homesite in accordance with the surrounding buildings, topography and tree canopy. Typically, the peak of the roof should not penetrate a line that represents the average height of the existing tree canopy on the site. For the number of allowable stories for homes in each neighborhood, consult the Design Standards Matrix.

6.3 ARCHITECTURAL MATERIALS, COMPOSITION AND DETAILS

Contextual factors, including site conditions and the stylistic character of the home and neighborhood, should be taken into consideration when selecting and detailing exterior materials. Not all approved materials may be deemed appropriate in all locations. For The Ridges on Greenbrier Mountain, Greenbrier Summit Village, The Meadows Eastates and The Snead Golf Course lots, see Section 6.5 and 6.6 of the Guidelines for additional information on permitted materials.

6.3.1 *Garden Walls and Fences*

The following are permitted for garden walls and fences:

- Wood with painted or opaque stain finish, “good side” out
- Brick (natural color) or stucco with painted or oyster shell finish (see Section 6.3.2)
- Concrete block w/ stucco finish painted in approved color (see Section 6.3.2)
- Ornamental metal with painted finish
- Natural stone (see Section 6.3.2)
- Composite materials (AZEK) with either a painted finish or factory applied and warranted finish ONLY with approval from the ARB
- No chain link, plastic mesh or welded wire fences are permitted, except as temporary construction fence.
- Wood, brick and/or stucco may be used individually or in combination for garden walls and fences
- See Landscaping Guidelines Section 7.4, for additional information on fencing

Perimeter screen or privacy fencing or walls are prohibited

6.3.2 Foundations and Exterior Walls

The following are permitted for exposed foundations and ground floor piers:

- Brick (brick characteristics as noted for walls below)
- Stucco smooth, textured or scored (stucco characteristics as noted for walls below) in approved color
- Natural stone (stone characteristics as noted for walls below)
- No concrete block or unfinished materials may be exposed

The following are permitted for cladding exterior walls:

Wood

- Weatherboard, also known as lap or bevel siding; beaded, rough, or plain-sawn; 3 ½ – 6 inch maximum exposure
- Rustic siding, also known as German, cove or drop siding; 8 inch maximum exposure
- Flush boards, also known as butted, matched or shiplapped boards
- Rustication (wood detailed to simulate ashlar stone, including horizontal shiplapped v-groove boards)
- Board-and-batten and vertical v-groove boards with a maximum 10” width
- Wood shingles; maximum exposure 8 ½ inches; weathered or stained
- Logs, laid as siding or traditional log construction

Stucco

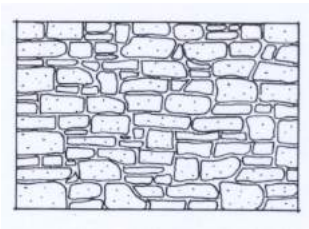
- Applied with 1 trowel; smooth, textured, or scored in approved color

Brick

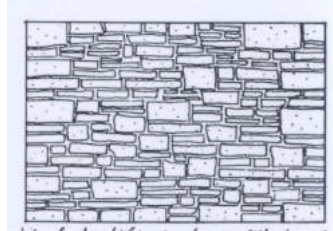
- Standard (2 ¼ inches x 3 5/8 inches x 8 inches), modular (2 ¼ inches x 3 5/8 inches x 7 5/8 inches) or oversized (2 ¾ inches x 3 5/8 inches x 7 5/8 inches) sizes
- Hand-molded or wire-cut to simulate hand-molded; rubbed or simulated rubbed bricks may be used around openings and for details
- Natural color, painted or whitewashed finish

Natural Stone

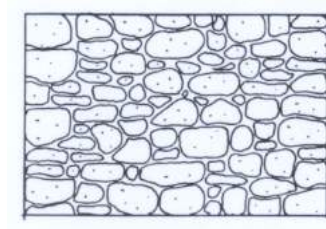
- Stone is to be a natural material in an approved color and shape which appears to have come from the site or nearby. It must be laid up to have a structural appearance rather than a veneered look. Stone structures are to look as if they could stand without mortar, and a dry-laid appearance is preferred. Tall walls or piers are to be battered at their base and incorporate a mix of sizes and shapes with larger stones predominantly at lower levels. Natural bedding planes are to be laid horizontally and vertical joints are to be frequently interrupted. Vertically proportioned stones should be kept to a minimum. Mosaic patterns are not to be used.
- Stone is to be coursed in one of several approved types of rubble patterns including rough, coursed or traditional squared stone, also called rubble ashlar (examples below).



coursed



squared-stonemasonry



uncoursed fieldstone

Composite Materials

- Composite siding and trim, such as “Artisan Premier Lap siding” by James Hardie, may be considered on a case-by-case basis based on the extent and location of the material on the project, and the project’s location. The material should be at least 5/8” thick.

NOTES:

1. Sidewall materials may be used individually or in combination on exterior walls
2. Painted wood lattice may be used as a decorative covering or screen on limited areas of the exterior walls
3. Composite or non-indigenous materials, aluminum or vinyl siding and plywood sheathing shall not be used

6.3.3 Roofs, Eaves and Gutters

The following are permitted for roofs:

Composite/synthetic roofing materials may be approved by the ARB on a project by project basis. The Owner, Contractor and Architect shall provide a large-scale on-site mockup of the installation showing ridge, valley, hip, eave, and rake conditions using the proposed roofing product embodying the selected color, texture, exposure, etc.

- Heavy gauge copper, lead-coated copper, lead, terne or terne coated steel, Galvalume or zinc, with hand-worked standing seam or v-crimp for pitches 4:12 or greater (or as per manufacturer), flat seam for lower pitches; field installed in sheets; factory finish or field-applied paint for Galvalume and terne
- Wood shingles or shakes
- Natural slate; gray, green or combination; graduated or ungraduated
- Concrete tile (flat not curved)
- Roof flashing must be copper or copper alloys, or pre-finished aluminum; no unfinished metal may be visible

Note exception: Copeland Hill and Springhouse Cottage neighborhood roofing is asphalt shingle.

The following are permitted for gutters and downspouts:

- Half-round profile for hung gutters, up to 6-inch diameter
- Concealed gutters, also known as built-in or trough gutters; visible flashing and drip edges to be metal, interior lining to be metal or membrane
- Solid wood gutters, if integrated into boxed eave
- Rectangular or circular downspouts, smooth
- Leader boxes, ornamental or plain
- Copper, lead-coated copper, lead or aluminum for hung gutters, downspouts and leader boxes

Note: The Architect is responsible for determining potential for staining and galvanic action among disparate metals used in roofing, gutters, flashing and other exterior applications

6.3.4 Exterior Doors, Windows, Shutters and Storm/Screen Sash

A. Materials and Methods

The following are permitted for solid, glazed, and storm screen doors:

- Solid wood or approved composite material frames, sills and trim; solid or veneer wood doors
- Aluminum clad door
- Fiberglass/MDF/composite doors may be approved on a project by project basis
- Wood or approved composite material working shutters
- Traditional carriage or barn style wood garage doors with a minimum of 1 ¾ inch thickness
- Clear glass with no more than 10 percent reduced-light transmission; no colored, mirrored, sand-blasted or tinted glass
- A limited amount of stained glass can be included subject to ARB approval
- Wood, stone, cast stone, or brick sills

Note: Sliding glass doors are not permitted.

The following are permitted for windows, shutters and storm/screen sash:

- Wood or aluminum clad windows
- Solid wood or approved composite material trim including casing
- True divided or simulated divided lights with neutral color interior spacer bars and applied double-faced grid (no snap-in or removable muntins)
- Wood, stone, stucco, or brick sills. Sills with a minimum projection of 1 inch from the face of the wood casing
- Clear glass with a maximum of 10 percent reduced-light transmission; no colored, mirrored, sand-blasted or tinted glass
- Operable casement, single- and double-hung windows, except for horizontal frieze windows and transoms, which may be fixed or awning type, and circular or oval windows, which may be fixed or pivoting. Sliding and jalousie windows are not permitted
- Shutters must be sized to fit the opening, have fully mounted operable hardware and made of wood or PVC approved by the ARB. New Horizon or Atlantic (brand) or comparable are acceptable for PVC.
- Temporary, concealed and built-in storm shutters may only be visible during weather emergencies and are to be removed when the weather emergency subsides
- The Architect is responsible for meeting all applicable building codes in the design of doors and windows

B. Composition and Details

The following guidelines pertain to composition and details:

- Vertically proportioned openings for individual doors, windows and sidelights, except for frieze and attic story windows, which may be horizontal, and semicircular lunettes
- Vertically proportioned or square lites in glazed doors and windows
- Window sash, screen doors and storm/screen sash divided into a minimum of two lites or panels by a muntin or rail
- Transoms equal in width to the door or window units below them
- Entry doors with leaded fanlights and sidelights in ornamental patterns
- On the view side(s) of a house, fenestration in excess of 40% of the surface area of a façade will be considered on a case-by-case basis
- 5/8 to 1 inch wide wood glazing muntins, beveled to resemble glazing putty, with a minimum exterior depth of 3/8 inch

- Minimum 2 ½ inch wide mullions between ganged windows or door and sidelights
- Minimum 3 ½ inch wide trim around windows and doors, except brick molds in masonry openings, which are to be a minimum of 2 inches wide
- Paneled, glazed, screened and/or boarded doors; no flush exterior doors
- Boarded doors constructed of v-groove tongue and groove boards with or without ledgers, or beaded boards in chevron pattern
- Paneled, louvered or boarded shutters
- Garage doors that swing out from hinges, slide horizontally or are upward acting

From a design point of view, louvered door and window shutters are preferred, but board and panel shutters are acceptable. Louvered shutters can be allowed to tilt from the top or swing open. It is important to note that the installation of shutters should be done in the historical manner, i.e., louver blade should angle with the outer edge downward when the shutters are closed in front of the window. Shutters must fit the window or door they are intended to frame.

6.3.5 Posts, Piers and Columns

The following are permitted for posts, piers and columns:

- Wood
- Stucco in smooth or textured finish (see Section 6.3.2)
- Brick, natural color, whitewashed or painted finish (see Section 6.3.2)
- Fiberglass classical columns by approved manufacturers listed below
- Natural stone, and 1 stucco capitals, bases and plinths (see Section 6.3.2)
- Composition and exterior grade plaster for ornamental classical capitals
- The following are approved manufacturers of stock classical columns and pilasters: Hartman Sanders, Melton Classics, Somerset Column & Post and Schwerd. Stock ornamental capitals, such as Ionic and Corinthian, must be furnished by one of these manufacturers; custom columns and ornamental capitals by any fabricator are permitted provided they conform to the design guidelines above and are approved by the ARB.

6.3.6 Porches, Verandas, Balconies and Railings

A welcoming front porch along with accessory porches are integral elements of the look and lifestyle of the Community. Materials must be compatible with exterior wall materials. Screened porches must use a dark fiberglass or bronze screen and be designed to fit within the structure of the porch.

The following are permitted for porches, verandas, balconies and railings:

- Wood or approved composite materials for all vertical and horizontal structural and trim components
- Decking of wood, brick, terracotta or natural stone and certain wood composites as may be approved by the ARB. Composite material suggestions must be approved by the ARB
- Ornamental metal with painted finish for railings, brackets, ornamental features and decking may be used on suspended balconies
- Wood or approved composite materials for screen sash for screening on porches
- Exposed unfinished pressure-treated wood will not be permitted if visible below decks and steps and other structures. The underside must be painted, stained or concealed with an approved finish material.

NOTE: SEE ADDENDUM 12A FOR HOWARD'S CREEK ADDENDUM – PATIOS & PORCHES

6.3.7 Exterior Steps

The following are permitted for exterior steps:

- Wood
- Brick
- Stucco
- Natural Stone
- Terracotta
- Approved composites that have shown proven durability such as TREX
- Exposed unfinished pressure-treated wood will not be permitted if visible below decks and steps and other structures. The underside must be painted, stained, or concealed with an approved finish material

See Landscaping Guidelines for information on paving and walks

6.3.8 Chimneys

Chimneys, along with other projections above roof surfaces, play a dominant role in depicting the character desired. Chimney dimensions shall be compatible in scale to the home.

The following are permitted for chimneys:

- Where visible on the exterior, natural stone, brick or stucco
- Lead-coated copper or cement wash coping
- Clay tile flues
- Wood faced chimneys are not permitted
- Exposed metal flues are not permitted

6.3.9 Awnings and Canopies

Awnings must be appropriate to the design of the house and in compatible colors. Material must be cloth or canvas. Rigid aluminum awnings are not allowed. Awnings and canopies must be compatible with the design and color scheme of the house.

6.3.10 Exterior Hardware

The following are permitted for exterior hardware:

- Where visible from a street, public amenity or other common thoroughfare, solid brass, bronze, or blackened cast or wrought iron hardware executed in aluminum or mild steel

6.3.11 Basement and Roof Venting

The following guidelines pertain to basement venting:

- Basements and crawl spaces may be vented by wood lattice panels, painted wood louvers, brick vents, ornamental grilles or through skirt boards set with gaps in between

The following guidelines pertain to roof and eave venting:

- Roofs and attic spaces may be vented through louvered cupolas and dormers, gable-end vents, frieze grilles and louvers, porch ceilings, eaves, and continuous slot vents
- Self-venting soffit materials and imitation wood soffits are not permitted

6.3.12 *Cupolas, Lanterns, Monitors, Skylights and Other Roof Penetrations*

The following roof features are permitted:

- Glazed and/or louvered cupolas, lanterns and monitors
- No skylights (glazing parallel to the roof pitch), vent stacks, exhaust fans, vents or boiler flues where visible from a street, public amenity or other common thoroughfare are permitted
- Vent stacks, exhaust fans, vents and boiler flues must be located to the side or rear of the house and painted to match the roof color
- Integrating mechanical devices into architectural features, such as ducting exhaust air through a cupola or placing the boiler flue inside a chimney, is encouraged

6.3.13 *Exterior Colors*

- White is to be used within the Hotel Park. The theme will be to blend with the environment, rather than dominate, which includes not only the topography and vegetation but also those structures that are in immediate proximity. Penetrating and opaque wood stains and colors are appropriate for more rustic homes in a woodland setting. All exterior colors must be approved by the ARB.
- Exterior colors generally are to be low intensity, and are to be compatible and complementary with each other and the roofing material. Colors for structures adjoining the golf course should be especially muted.
- Roofs on rustic homes must be a dark or neutral color that will blend into the wooded environment; traditional colors for metal roofs on classically styled homes include red, green, deep brown and gray
- It is preferred that garage doors be painted the same color as the trim or main body of the house in order to help the door blend into the house wall
- Colors for all houses, outbuildings, trim, roof materials, screens and fences are to be shown on a sample board constructed of samples of the actual materials to be used and are to be submitted to the ARB for approval
- Architectural plans should be coded to illustrate the finish color of all materials
- Colors will be reviewed within the context of the size and design of the structure, including the amount of color coverage, adjacency to golf courses and other public amenities, roof pitch and tree cover
- A permanent color board must be posted on site during the construction process (see Exterior Finish Material Model Template)
- Any change to the exterior of a home, including a change in color, must be submitted to the ARB for approval

6.3.14 *Mechanical, Electrical and Other Equipment*

The following guidelines pertain to mechanical, electrical and other equipment:

- Air conditioning compressors and other mechanical equipment, utility meters, back flow preventer, pool equipment, trash receptacles (where allowed), aboveground storage tanks, well pumps, crawlspace/basement access bulkheads and sports equipment are to be placed inside service enclosures and may not be visible from a street, public amenity or other common thoroughfare
- The use of solar energy producing devices (active and/or passive) are subject to ARB approval, but in all cases must be removed from view from the street or adjacent properties; the equipment must be screened with appropriate fencing or lattice, landscaped and situated in the side or rear yard
- Clotheslines are not permitted
- The installation of outside antennas and satellite dishes are subject to ARB approval; approval may be conditioned upon restrictions in size, location and visibility of such devices as allowed pursuant to the Federal Telecommunications Act of 1996

- Window mounted air conditioners are not allowed unless there has been an emergency that requires supplementing the normal air conditioning system. Approval for temporary use will be required from the ARB and will be allowed for only 1 week.

6.4 MISCELLANEOUS ARCHITECTURAL GUIDELINES

6.4.1 Signage, Lot Identification, Lawn Ornaments, Statuary, and Flags

The following guidelines pertain to signage, lot identification, lawn ornaments, statuary, and flag standards

- All signs are prohibited except as otherwise provided in the Declaration
- The permitted construction sign is to conform to the approved ARB template (see Signage Template)
- Consistent with 911 requirements, all houses must have signage noting the house number. Please reference the House Signage Template for further details.
- All flags must be mounted to an appropriate flag stanchion attached to the exterior of the house and may not be freestanding. The pole shall not exceed 5'0" in total length
- Flags of a derogatory nature are not permitted
- Lawn/garden ornaments, statues and free standing planters, where visible from the road, golf course and surrounding properties, are subject to ARB approval

6.4.2 Mailboxes, Newspaper Boxes and Nameplates

The following guidelines pertain to mailboxes, newspaper boxes and nameplates:

- All nameplates are to be approved by the ARB
- Mailboxes and newspaper boxes are prohibited

6.4.3 Screen Enclosures

Screen enclosures are not allowed unless they are connected to the home and fit within the outline of the home's main roofline. Screen must be dark or bronze in color.

6.4.4 Garages and Carports

As is feasible given specific lot constraints, a garage is recommended. Garage doors should generally not face the street. Garage doors which face directly onto a neighbor's property must be screened by vegetation or other appropriate means. The clear width of a single garage door shall not exceed 9'. No carports are permitted.

6.5 THE RIDGES ON GREENBRIER MOUNTAIN AND GREENBRIER SUMMIT VILLAGE



Supplement to the
Design Guidelines and Regulations

Architectural Review Board
Manual

6.5 THE RIDGES ON GREENBRIER MOUNTAIN AND GREENBRIER SUMMIT VILLAGE “NEIGHBORHOODS”

The Community's Design Philosophy envisions a series of neighborhoods each with its own variations of the Guidelines tailored to the circumstances of its environment. The special attraction of The Ridges on Greenbrier Mountain and Greenbrier Summit Village neighborhoods is the opportunity to build homes, many with spectacular views, in a mountain forest setting. The homes are a place where families can live comfortably close to, and in harmony with a beautiful natural environment.

THE VERNACULAR PORTFOLIO

Because of their natural, unspoiled beauty, these neighborhoods have been assigned the “Vernacular” portfolio as the “preferred template” for designing homes. This portfolio includes styles that have been categorized as Greenbrier Valley Regional, Adirondack, Log, Shingle Style or Craftsman, and the characteristics of these styles are summarized in Section 4, Article 4.3 of the Design Philosophy. Illustrations of these styles are depicted in the ARB Image Bank.

INTERPRETING THE GUIDELINES

In order to help owners and designers apply the Site Development Guidelines (Section 5), Architecture Guidelines (Section 6) and Landscape Guidelines (Section 7), we have listed below the specific variations that apply to the Ridges’ and Summit lots. These variations are essentially clarifications and/or supplements to the Guidelines as they apply to the Ridges and Summit. They indicate to Owners and designers how the ARB intends to interpret the Guidelines in the Ridges’ and Summit neighborhoods.

In Section 5, Site Development, the following notes apply to the Ridges and Summit neighborhoods:

The Construction Zone- grading and tree cutting is limited to the area required for construction. Once the building footprint has been approved within the Building Envelope a construction zone is generally defined. The ARB will consider a dimensional adjustment to the construction zone on a project by project basis , and will take into consideration the steepness of the site/slope, visibility of the homesite and distance to neighboring properties/improvements, and accessibility from the access roads. No clearing will be permitted outside this zone except for driveways and septic fields. The removal or thinning of significant trees between the foundation wall and the limit of the construction zone will be subject to ARB approval.

In order to prevent damage to, or destruction of, the forested area outside the construction zone, temporary fences are to be installed at the edges of the construction zone.

Driveways and Parking Areas - Driveways and guest parking areas should be minimized and carefully constructed to avoid removing significant trees in the front setback zone. The curb cut for the driveway should be located a minimum of 20' from the side property lines. Guest parking should generally be incorporated into the driveways and not in separate areas adjacent to the roadway. No more than 2 guest parking spaces will be allowed. The final location of the driveway and guest parking will be subject to ARB approval.

Individual Sewer Systems - The Greenbrier County Health Department has approved the use of on-site sewage treatment systems for all lots in Ridges Phase I, II, III, except lots 1-11, lot 36 and lots 57-71 and lots 54 and 56 of Greenbrier Summit Village. [See attached.] Each system will consist of a septic tank(s), distribution box, leach fields, and sand filter beds. The location of these components should avoid the removal of significant trees and will be subject to ARB approval. The leach fields will generally be located below the finish floor of the basement and downhill of the building envelope. Leach fields will have a 20' side setback from the construction zone to ensure that a band of existing trees protects the views and/or screens the house from offsite locations. A certified Civil Engineer is required to design all individual sewer systems. The ARB is not responsible for design or performance of individual sewer systems.

Individual Sewage Grinder Pumps and Septic Tank Effluent Systems - Some lots in the Ridges and the Summit will require individual sewage grinder pumps or septic tank effluent systems. You are required to use the specified ARB approved model(s) at the time and a certified Civil Engineer is required to design all individual sewage grinder pumps and septic tank effluent systems. The ARB is not responsible for design or performance of individual sewage grinder pumps and/or septic tank effluent systems. All installations must be inspected and approved by a manufacturer third party representative.

LANDSCAPING AND PLANT MATERIALS INCLUDING VEGETABLE GARDENS

- Expansive lawns are not allowed
- Dedicated vegetable gardens are not allowed
- Digging of wells is not allowed



**Greenbrier County Health Department
Environmental Section**

P.O. Box 5910
295 Seneca Trail
Fairlea, WV 24902
Phone 304-645-1539
Fax 304-645-5358

March 13, 2002

To Whom It May Concern:

On the basis of my review of percolation tests and test holes on lots 12 through 35 at The Ridges on Greenbrier Mountain, I hereby approve the installation of individual sewer systems on lots 12 through 35 subject to minimum specifications outlined below. In addition to this approval, a permit for each individual sewer system shall be obtained prior to construction of a house on the lot.

Individual sewer system leach fields shall be constructed using an Eljen In-Drain System by Eljen Corporation and an additional sand filter bed. A minimum of 30 Bio-Matt Eljen units shall be installed on a 12 inch sand bed in a leach field(s) having a minimum aggregate size of 8 feet by 60 feet. A down gradient 12 inch sand filter bed(s) connected to the leach field(s) shall have a minimum aggregate size of 8 feet by 40 feet. Two septic tanks having a minimum size of 1000 gallons or one dual compartment septic tank having a minimum size of 1500 gallons are required. A septic tank filter shall be installed on the effluent side of the septic tank discharging to the leach field and a distribution box is required between the septic tank and the leach field. All piping shall be a minimum SDR-35 meeting ASTM 3034, except that Schedule 40 PVC shall be installed from the house to the septic tank(s) and from the septic tank to the distribution box. Roof gutters are required for all roofs located uphill of the leach field and a storm water collection system for the roof drains shall discharge storm water into a rip rap channel below the leach field(s) and sand filter bed(s). A house with more than four bedrooms may require larger leach field(s) and sand filter bed(s).

Alternative on-site treatment systems are permissible subject to review and approval prior to the commencement of construction of a house on the lot by the Greenbrier County Health Department and any other permitting agencies which may have jurisdiction.

Sincerely,

A handwritten signature in cursive script, appearing to read "Michael K. Eltzroth".

Michael K. Eltzroth, RS
MKE/mgc



**Greenbrier County Health Department
Environmental Section**

P.O. Box 5910
295 Seneca Trail
Fairlea, WV 24902
Phone 304-645-1539
Fax 304-645-5358

October 30, 2002

To Whom It May Concern:

On the basis of my review of percolation tests and test holes on lots 39 through 44 of Filmore Ridge on Ridges Phase II and for lots 51 through 56 of McKinley Ridge, also on Ridges Phase II, I hereby approve the installation of individual sewer systems on these lots subject to minimum specifications outlined below. In addition to this approval, a permit for each individual sewer system shall be obtained prior to construction of a house on the lot.

Individual sewer system leach fields shall be constructed using an Eljen In-Drain System by Eljen Corporation and an additional sand filter bed. A minimum of 30 Bio-Matt Eljen units shall be installed on a 12 inch sand bed in a leach field(s) having a minimum aggregate size of 8 feet by 60 feet. A down gradient 12 inch sand filter bed(s) connected to the leach field(s) shall have a minimum aggregate size of 8 feet by 40 feet. Two septic tanks having a minimum size of 1000 gallons or one dual compartment septic tank having a minimum size of 1500 gallons are required. A septic tank filter shall be installed on the effluent side of the septic tank discharging to the leach field and a distribution box is required between the septic tank and the leach field. All piping shall be a minimum SDR-35 meeting ASTM 3034, except that Schedule 40 PVC shall be installed from the house to the septic tank(s) and from the septic tank to the distribution box. Roof gutters are required for all roofs located uphill of the leach field and a storm water collection system for the roof drains shall discharge storm water into a rip rap channel below the leach field(s) and sand filter bed(s). A house with more than four bedrooms may require larger leach field(s) and sand filter bed(s).

Alternative on-site treatment systems are permissible subject to review and approval prior to the commencement of construction of a house on the lot by the Greenbrier County Health Department and any other permitting agencies which may have jurisdiction.

Sincerely,

Michael K. Eltzroth, RS
MKE/mgc



**Greenbrier County Health Department
Environmental Section**

P.O. Box 5910
295 Seneca Trail
Fairlea, WV 24902
Phone 304-645-1539
Fax 304-645-5358

January 3, 2003

To Whom It May Concern:

On the basis of my review of percolation tests and test holes on A-Typical lots # 37, 38, 45, 46, 47, 48, 49, & 50, of Ridges Phase II; I hereby approve the installation of individual sewer systems on these lots subject to minimum specifications outlined below. In addition to this approval, a permit for each individual sewer system shall be obtained prior to construction of a house on the lot.

Individual sewer system leach fields shall be constructed using an Eljen In-Drain System by Eljen Corporation and an additional sand filter bed. A minimum of 30 Bio-Matt Eljen units shall be installed on a 12 inch sand bed in a leach field(s) having a minimum aggregate size of 8 feet by 60 feet. A down gradient 12 inch sand filter bed(s) connected to the leach field(s) shall have a minimum aggregate size of 8 feet by 40 feet. Two septic tanks having a minimum size of 1000 gallons or one dual compartment septic tank having a minimum size of 1500 gallons are required. A septic tank filter shall be installed on the effluent side of the septic tank discharging to the leach field and a distribution box is required between the septic tank and the leach field. All piping shall be a minimum SDR-35 meeting ASTM 3034, except that Schedule 40 PVC shall be installed from the house to the septic tank(s) and from the septic tank to the distribution box. Roof gutters are required for all roofs located uphill of the leach field and a storm water collection system for the roof drains shall discharge storm water into a rip rap channel below the leach field(s) and sand filter bed(s). A house with more than four bedrooms may require larger leach field(s) and sand filter bed(s).

Alternative on-site treatment systems are permissible subject to review and approval prior to the commencement of construction of a house on the lot by the Greenbrier County Health Department and any other permitting agencies which may have jurisdiction.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael K. Eltzroth".

Michael K. Eltzroth, RS
MKE/mgc



**Greenbrier County Health Department
Environmental Section**

P.O. Box 5910
295 Seneca Trail
Fairlea, WV 24902
Phone 304-645-1539
Fax 304-645-5358

June 1, 2004

To Whom It May Concern:

On the basis of my review of percolation tests on lots 72 through 98 of Ridges Phase III, with the exception of lots 74, 81, 82. I hereby approve the installation of individual sewer systems on these lots subject to minimum specifications outlined below. In addition to this approval, a permit for each individual sewer system shall be obtained prior to construction of a house on the lot.

Lots 74, 81, and 82 will require special attention in addition to the following.

Individual sewer system leach fields shall be constructed using an Eljen In-Drain System by Eljen Corporation and an additional sand filter bed. A minimum of 30 Bio-Matt Eljen units shall be installed on a 12 inch sand bed in a leach field(s) having a minimum aggregate size of 8 feet by 60 feet. A down gradient 12 inch sand filter bed(s) connected to the leach field(s) shall have a minimum aggregate size of 8 feet by 40 feet. Two or more septic tanks having a minimum size of 1000 gallons or one dual compartment septic tank having a minimum size of 1500 gallons are required. A septic tank filter shall be installed on the effluent side of the septic tank discharging to the leach field and a distribution box is required between the septic tank and the leach field. All piping shall be a minimum SDR-35 meeting ASTM 3034, except that Schedule 40 PVC shall be installed from the house to the septic tank(s) and from the septic tank to the distribution box. Roof gutters are required for all roofs located uphill of the leach field and a storm water collection system for the roof drains shall discharge storm water into a rip rap channel below the leach field(s) and sand filter bed(s). A house with more than four bedrooms may require larger leach field(s) and sand filter bed(s).

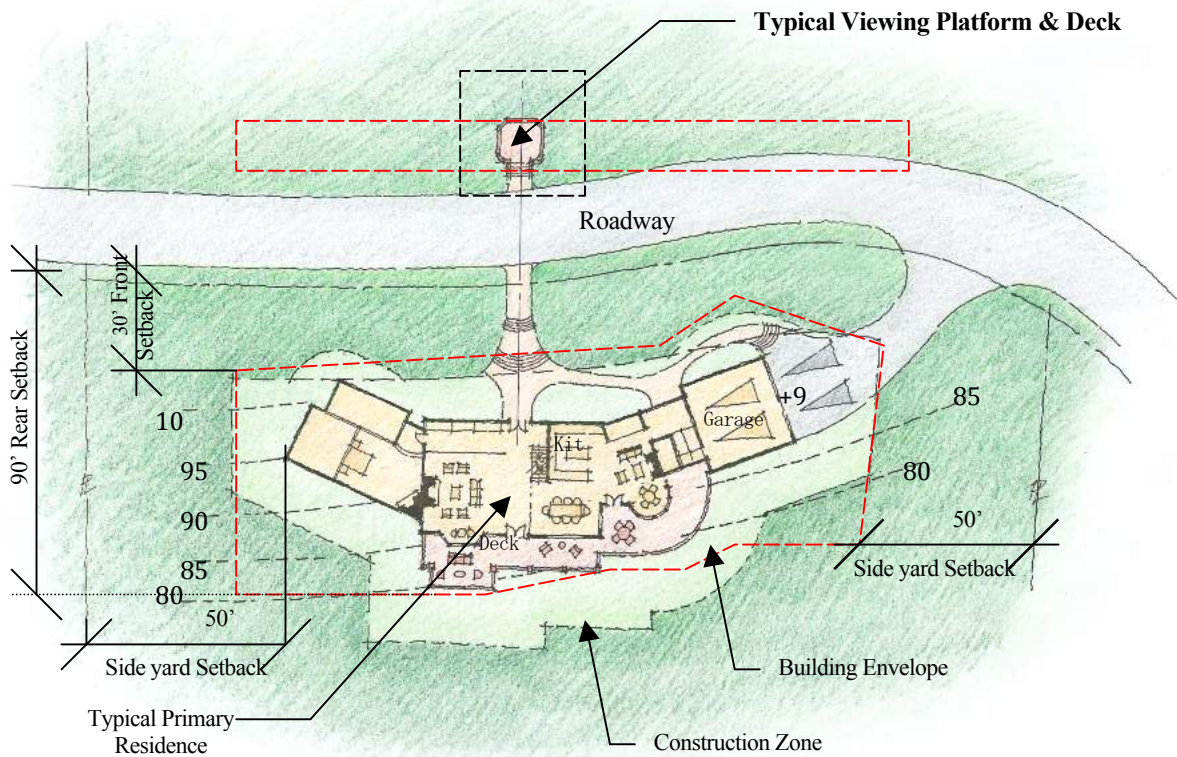
Alternative on-site treatment systems are permissible subject to review and approval prior to the commencement of construction of a house on the lot by the Greenbrier County Health Department and any other permitting agencies which may have jurisdiction.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael K. Eltzroth".

Michael K. Eltzroth, RS
MKE/ngc

Roof Gutters - Roof gutters are required for all roofs located uphill of the leach fields and a storm water collection system for the roof drains will discharge storm water into a rip rap channel below the leach fields and sand filters. Location of outlets and channels will be subject to ARB approval.



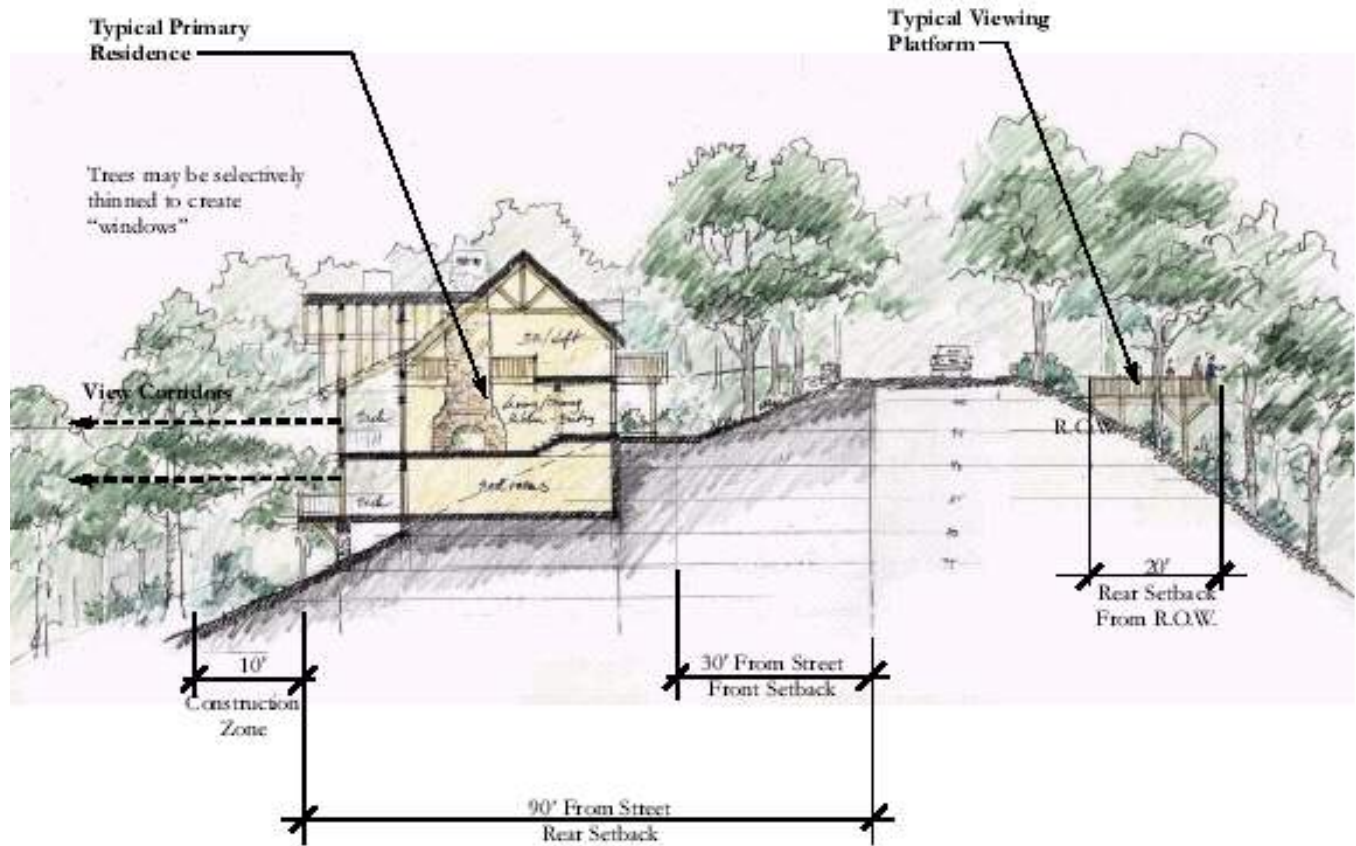
Typical Lot Diagram

Typical Lot Setbacks

- **Front setback** - typically 30' from edge of pavement. As much as possible this area is to remain in its natural state in order to preserve the trees that line the ridge road and create the skylines. A driveway entrance and walkway may be built through the setback area. In no case shall the front setback be less than 20'.
- **Side setbacks** - no less than 50' each. As much as possible these areas are to remain essentially in their natural state. They assure a forest buffer between individual homes, preserving the privacy of each and the dominance of the forest scene.
- **Rear setback** - no more than 90' from the edge of pavement defines the downhill limit of the building envelope. This assures that the building envelope is limited to a compact zone on the shoulder of the ridge, generally the area most suitable for development. This setback assures preservation of the forest scene from the valley below and adjacent ridges.

Atypical Lot Setbacks - Front, rear and side setbacks for lots that have atypical topography and or geometry have been established by staking the building envelope in the field. The building envelopes for atypical lots are shown on separate lot diagrams.

Viewing Platforms and Decks - For typical lots the primary residence and auxiliary buildings will be located on the western or south facing portion of the lot. In order to take advantage of views to the east and north, small viewing platforms or decks will be allowed. The maximum floor area for these structures will be 250 square feet. Front setback will be the road right of way, rear setback will be 20' from the road right of way and side yard setbacks will be 50'. The construction zone limits will be the same as for the primary residence.



Typical Lot Site Section

In Section 5, Site Development Guidelines, the following additional notes apply:

In 5.1, Anatomy of the Site:

The “**existing environment**” is forested ridges and hollows. A network of roads has been built which access the lots located in the hollows and on the ridges. The intent is that these roads will not be visible from the valley floor or the homes on adjoining ridges. Likewise, the Guidelines are intended to minimize disruption of the forest environment as homes are built.

The “**Building Envelope**” - The Building Envelope is the land area in which new buildings and essentially all grading, construction activities and/or site improvements are to take place. On most lots it has been defined by four setbacks. On **typical lots**, these setbacks have been pre-designated. On **atypical lots** the Building Envelope is defined as a combination of setbacks and limits established by topography and geometry.

In 5.2, View Corridors:

The ridge-top homes on **typical** and **atypical** lots have the potential for fine, long mountain and valley views. Each Owner will have the opportunity to clear “windows” through the trees to take advantage of those views from the principle rooms of the houses. Clear cutting along the entire frontage of a home will not be permitted in order to protect the natural quality of the view from other homes and from the valley floor below, and to avoid a scarred look on the mountain sides. Instead the Owner will select openings that can be cleared to frame the prime vistas in dramatic ways. Approval by the ARB of these view corridors will be required. Illustrations of typical view openings are shown in the accompanying sketches.

In 5.3, 5.4 and 5.5:

All listed guidelines apply.

In 5.6, Site Grading and Drainage:

Because of the steepness of the building sites:

- Staking of building corners and construction zone is required for ARB review and approval
- Cut and fill might not balance. The ARB may require excess soil to be removed from a site in order to prevent disbursement of fill that would damage tree roots
- Additional erosion control measures may be required by the ARB, such as stone lining of drainage swales, special silt fencing below excavation sites, etc.
- New cut slopes must be a sufficient distance from adjoining natural areas to avoid significant damage to roots of trees in the required setback area

The ARB will work with Owners to identify the limits of clearing and/or stockpiling permitted on each site. It should be understood that construction activities will significantly affect the terrain and tree coverage at least 20' outward of the building perimeter. The Owner and Contractor will be required to reclaim and restore this disturbed area to the greatest extent possible. Construction access must be approved prior to construction beginning.

In Section 6, Architectural Guidelines, the following notes apply to the Ridges and Summit neighborhoods:

In **general**, new construction is to be designed to blend into the forest setting. The key will be the use of natural materials and colors, predominantly wood and stone exteriors and the range of browns, grays, greens and muted colors that characterize the surrounding forest. The buildings that blend best are typically those where construction materials appear to have come from the site or nearby and have been used without elaborate milling or other machine processing. Typically they are colored with a variety of natural stains (but not white). Surfaces are textured and non-reflecting.

Building masses are to be composed of clusters of building forms fitted to the topography and natural surroundings, and residential in scale. Building bulk is to be articulated into forms with dimensions that express interior spaces and/or a group of related rooms.

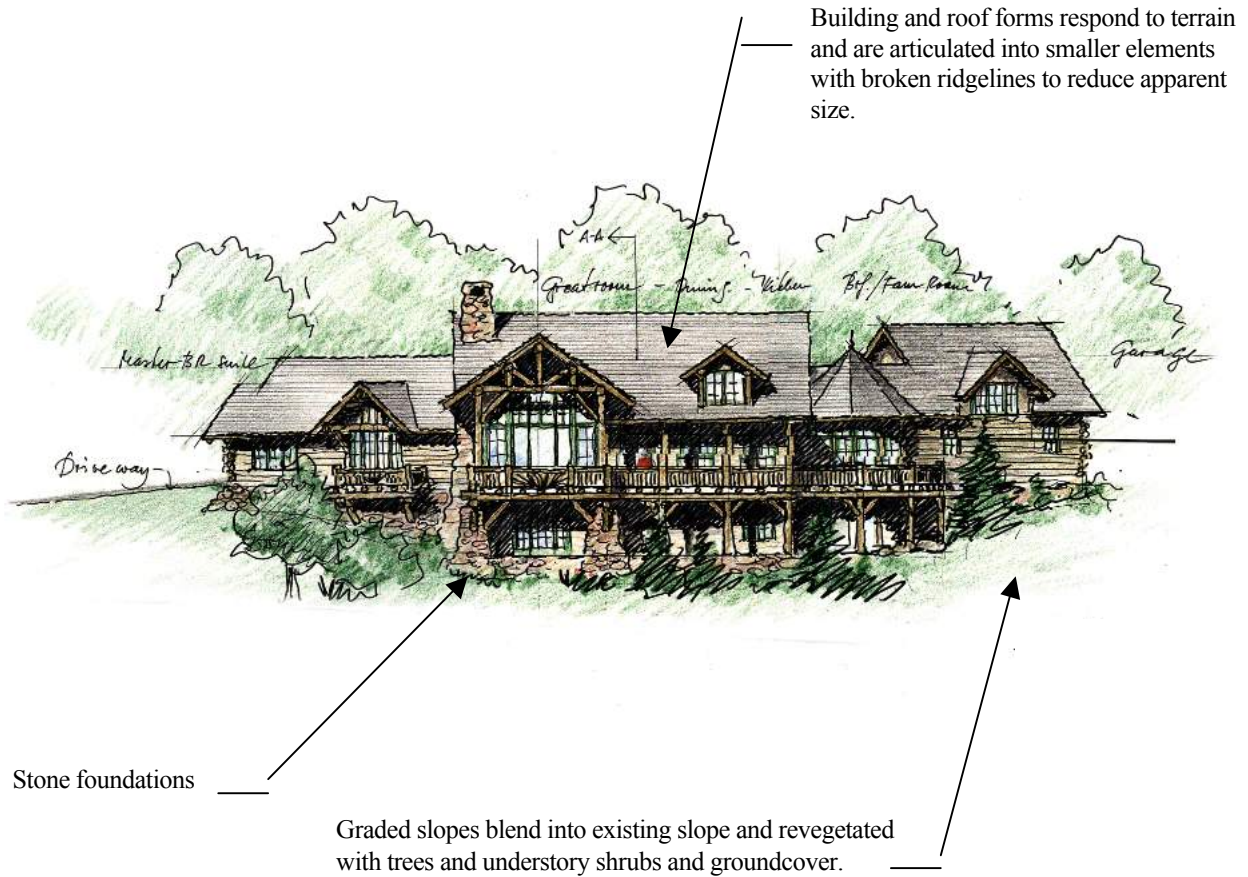
Maximum building height shall be 50' calculated from the average existing grade on the downhill foundation wall of the house. The intent is that building roof forms and skylines will be fragmented, with foundations and roof lines stepped to follow existing slopes, and the roof lines will be below the surrounding tree top levels when viewed from off-site.

Decks shall be fragmented to avoid long horizontal lines and stepped to follow sloping gradients.

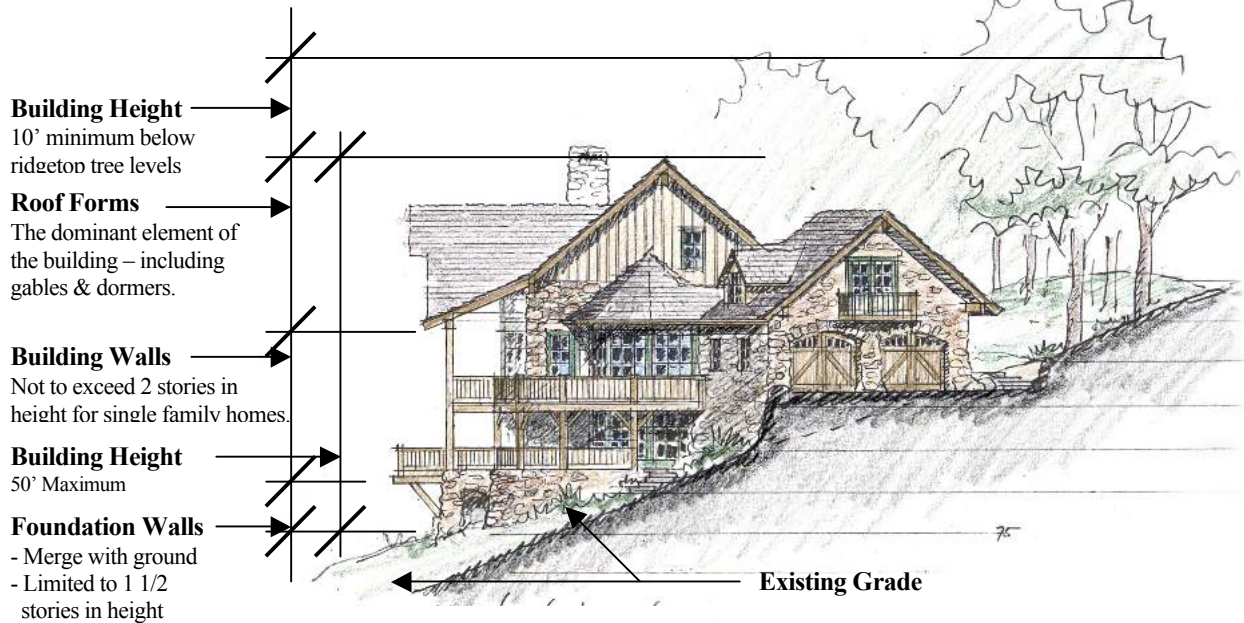
Overall, the objective is to make structures blend into their backgrounds. The applications of this general principle are outlined further below.

In Section 6.1, Building Size:

In general, the net area of a home within the Ridges and Summit neighborhoods may not exceed 6,000 square feet for the main residence and 2,000 square feet each for a maximum of 2 outbuildings. Allowable square footage varies. For maximum square footages for each home on each lot, consult the Design Standards Matrix.



Typical Downhill



Typical Lot Section/Elevation

In 6.3.1, Garden Walls and Fences:

The permitted materials are:

- Natural stone
- Natural stone walls with brick or stucco recessed “non-structural” infill in colors selected to blend with the background colors
- Wood and, in limited areas, ornamental metal fences

In 6.3.2, Foundations and Exterior Walls:

The following are permitted for exposed foundations (including walls of “walk-out” basements) and ground floor piers:

- Natural stone
- Brick and stucco, painted in approved colors and textures selected to blend with background colors may be used as a recessed “non-structural” infill at the foundations of the principal structure, or for foundations of subordinate appendage buildings or outbuildings

- Logs or heavy timbers may be used for ground floor piers ,rough wood shakes or bark shingles
- No concrete block or unfinished materials may be exposed

The following are permitted for cladding above exterior foundation walls:

- **Wood** - All listed material permitted.

In addition, **Log or timber** structural elements - walls, beams, columns, piers, etc., - are to be designed and detailed to result in an authentic-appearing structure, with dimensions and spans of the visible materials related to their own structural properties. Wood surfaces such as boards or shingles may be used to express load bearing walls or as infill panels within frame structures.

- **Natural stone** – all listed material permitted
- **Screening** of the underside of structures on steep slopes may be required by the ARB, utilizing lattice or other materials that blend with the remainder of the building

In 6.3.3, Roof, Eaves and Gutters:

For roofs, all listed materials are permitted in addition:

- Colors and textures are to meet the criteria spelled out previously in this section for blending into the forest
- The ARB may require the use of fast-weathering techniques on metal roofs

For gutters and downspouts, all guidelines apply. In addition:

- Aluminum flashing, if used in lieu of copper, is to be painted to match the adjacent roofing material

In 6.3.4, Exterior Doors, Windows, Shutters and Storm/Screen Sash:

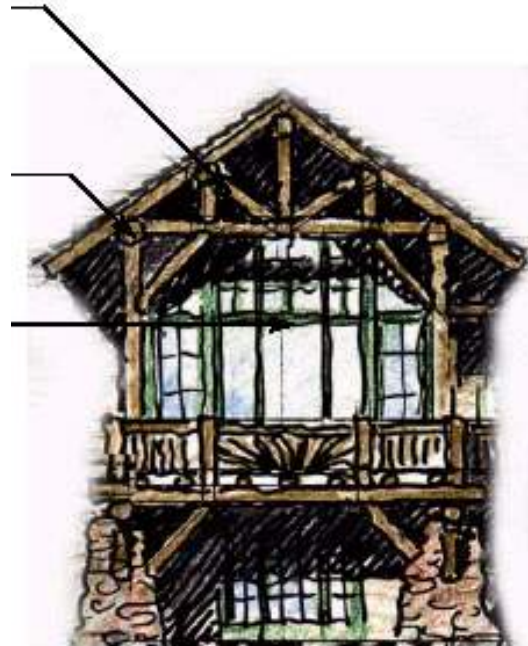
All of the listed guidelines apply, and in addition:

- All glass visible from the valley floor or from homes on adjoining ridges is to be sheltered by overhangs whose depth is no less than 0.33 times the full height of the glass underneath it and designed to prevent reflections of the sky.
- Large window surfaces are to be subdivided with structural members or muntins. Large (up to 40 square feet) single panes are acceptable provided they are well recessed, shaded and incorporated into a window composition that uses large scale vertical and horizontal structural members and includes multiple smaller sized panes.
- Window frames and mullions are to project out beyond recessed glass surfaces to provide shadow lines and to emphasize the wood and/or stone structure.

Integral structural members
subdivide large windows

Projecting roof overhang to
shade large windows

Large undivided pane
surrounded by smaller panes

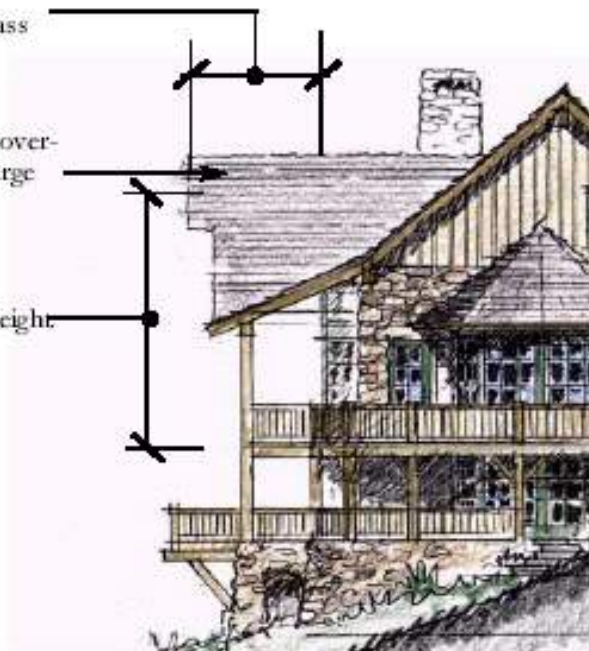


Large Windows

Overhang depth
minimum .33 glass
height below.

Projecting roof over-
hang to shade large
windows.

Glass height.



Shading of Windows

In 6.3.5, Posts, Piers and Columns

All listed guidelines apply, except stucco and brick may not be used except in combination with stucco and brick foundations (see 6.3.2 above).

In 6.3.6, Porches, Verandas, Balconies and Railings and 6.3.7, Exterior Steps

All listed guidelines apply, except for color and texture requirements specified previously above.

In 6.3.8, Chimneys

All listed guidelines apply, except stucco and brick may not be used except when used in combination with stucco and brick foundations (see 6.3.2 above).

In 6.3.9, Awnings; 6.3.10 Exterior Hardware; 6.3.11, Column, Basement and Roof Venting; 6.3.12, Cupola, Lanterns, Monitors, Skylights and Other Roof Penetrations; and 6.3.13, Exterior Colors:

All listed guidelines apply and in addition:

- All materials, especially roofs are to have colors and textures that minimize reflections of the sky

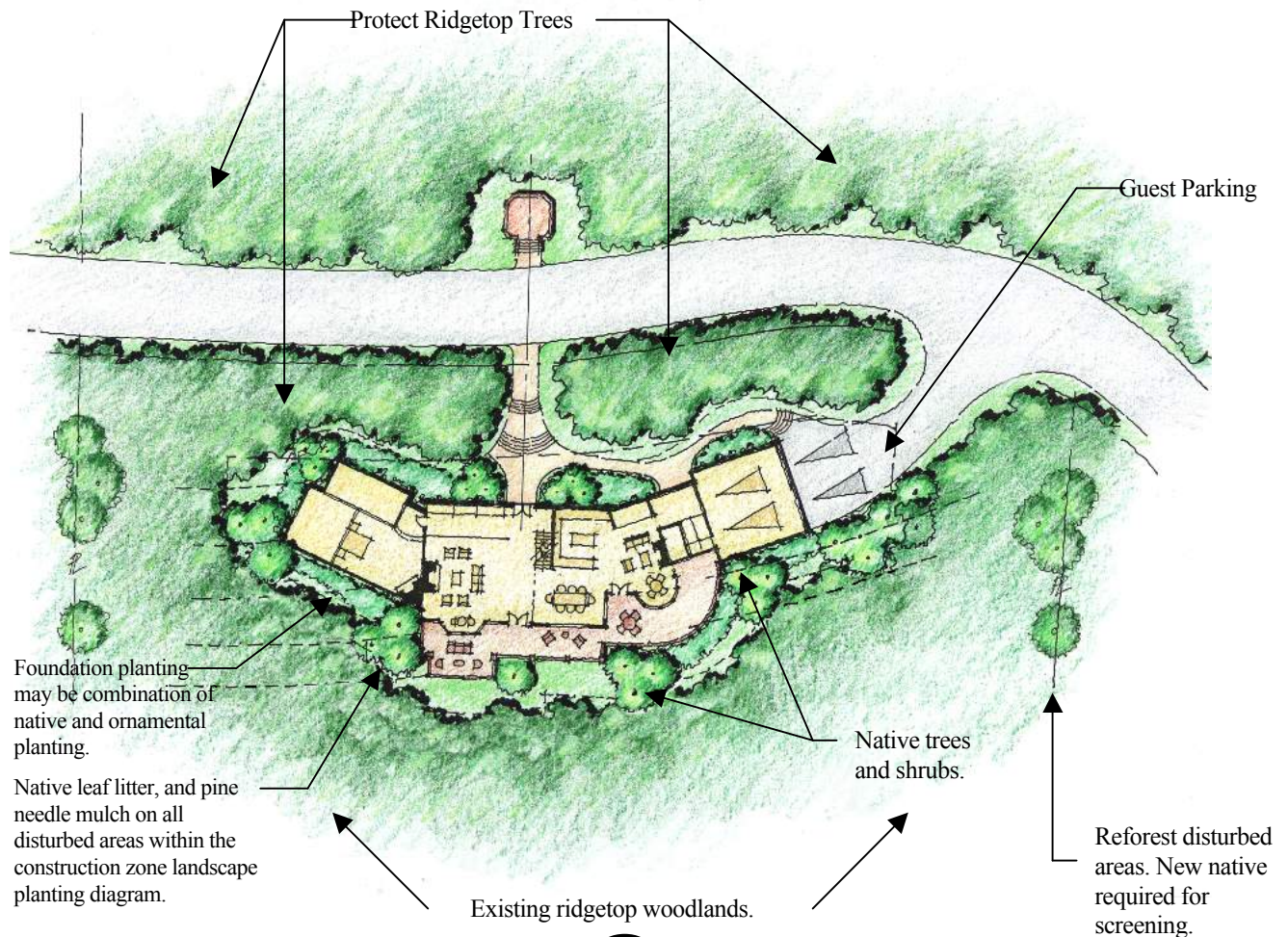
In 6.3.14, Mechanical, Electrical and Other Equipment:

All listed guidelines apply and in addition:

- The “not visible from” rule applies to houses on nearby ridges

In 6.4, Miscellaneous Architectural Guidelines:

All listed guidelines apply.



Typical Landscape Plan

In section 7.1 Landscape Guidelines:

All guidelines apply except as noted below:

Visual Integrity of the Natural Landscape

The ridgetops and hollows of The Ridges on Greenbrier Mountain and Greenbrier Summit Village are a distinct landscape dominated by hardwoods and pine trees and their associated understory plants. Building homes on the ridges and hollows has the potential for significant visual impact on other homesites and Community and The Greenbrier land if the new homes are not properly blended into the natural landscape.

Special consideration must be taken on these lots to preserve the visual integrity of existing ridgelines and prominent physical site features. Landscape plantings shall be used to integrate buildings into the surrounding landscape and screen them from off-site views.

In addition, setback areas that have few existing trees or that have been damaged during construction are to be reforested in ways that assure continuity of the forest setting.

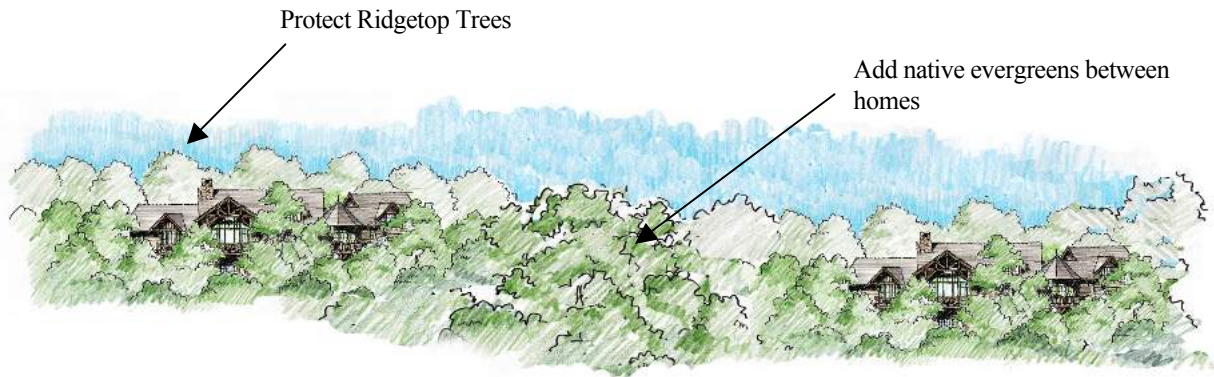
Landscaping and Plant Materials

The landscape design of each homesite shall blend with its overall mountain setting. New plantings are to be used to enhance and protect important view sheds, help to define use areas on the Lot, and screen outdoor service areas and other improvements from adjacent lot and off-site views. Landscape improvements shall incorporate, rehabilitate and enhance existing vegetation, and utilize indigenous species and consideration given to deer resistant plants.

- Lawns -- Manicured lawn areas are discouraged and allowed only in areas immediately adjacent to the primary residence
- Trees, Shrubs and Groundcovers -- Non-native ornamental plants will be allowed as foundation planting and accent planting only within the construction zone. Native plantings will be required in areas outside the construction zone and encouraged within the construction zone
- Minimum reforestation/tree placement for privacy for each front, side and rear yard area shall be calculated as one (1) evergreen tree for every 20 linear feet of frontage and one (1) deciduous tree for every 15 feet of frontage. Each lot will be reviewed on a case-by-case basis by the ARB as some lots have existing trees that may count toward the requirements.
- All outdoor fire pits and free standing fire places, with spark preventers, shall be natural gas fed, burning of wood is not allowed

In section 7.3, Site Lighting:

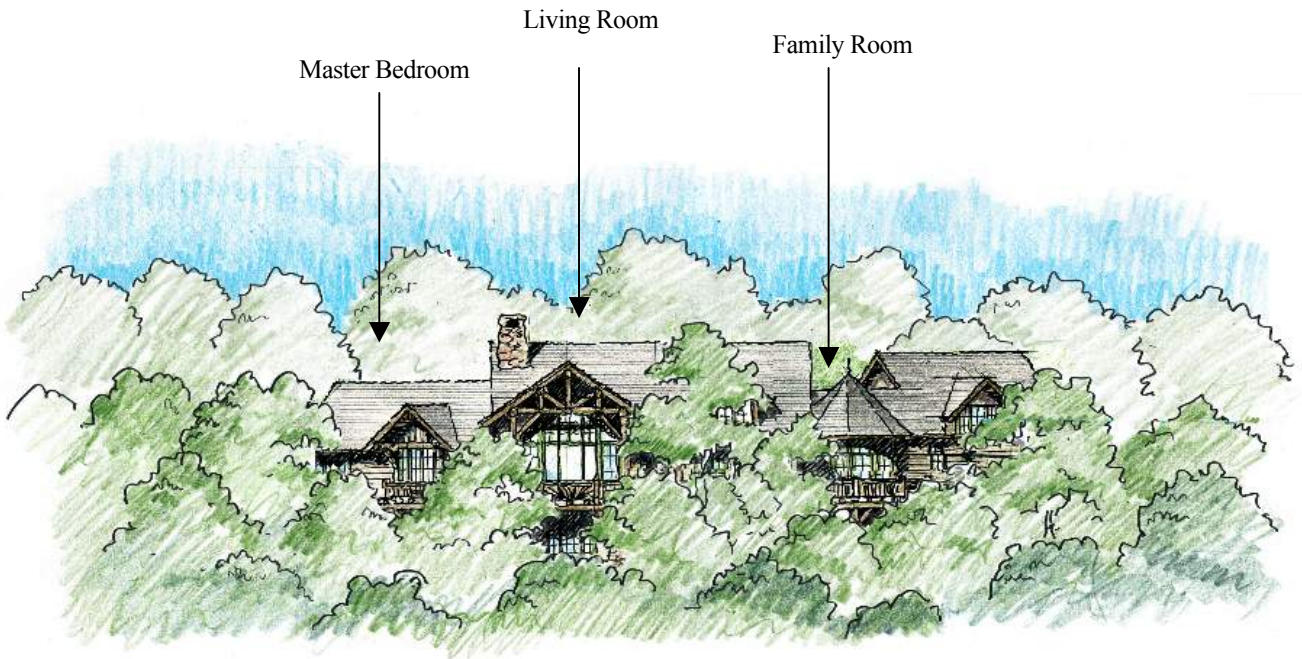
All listed guidelines apply except that exterior lighting other than driveway or walkway lighting is not permitted in the setback areas, and 'dimming capabilities' are required for all exterior lighting. No sky or moonlighting permitted nor any up or down lighting from fixtures located in trees.



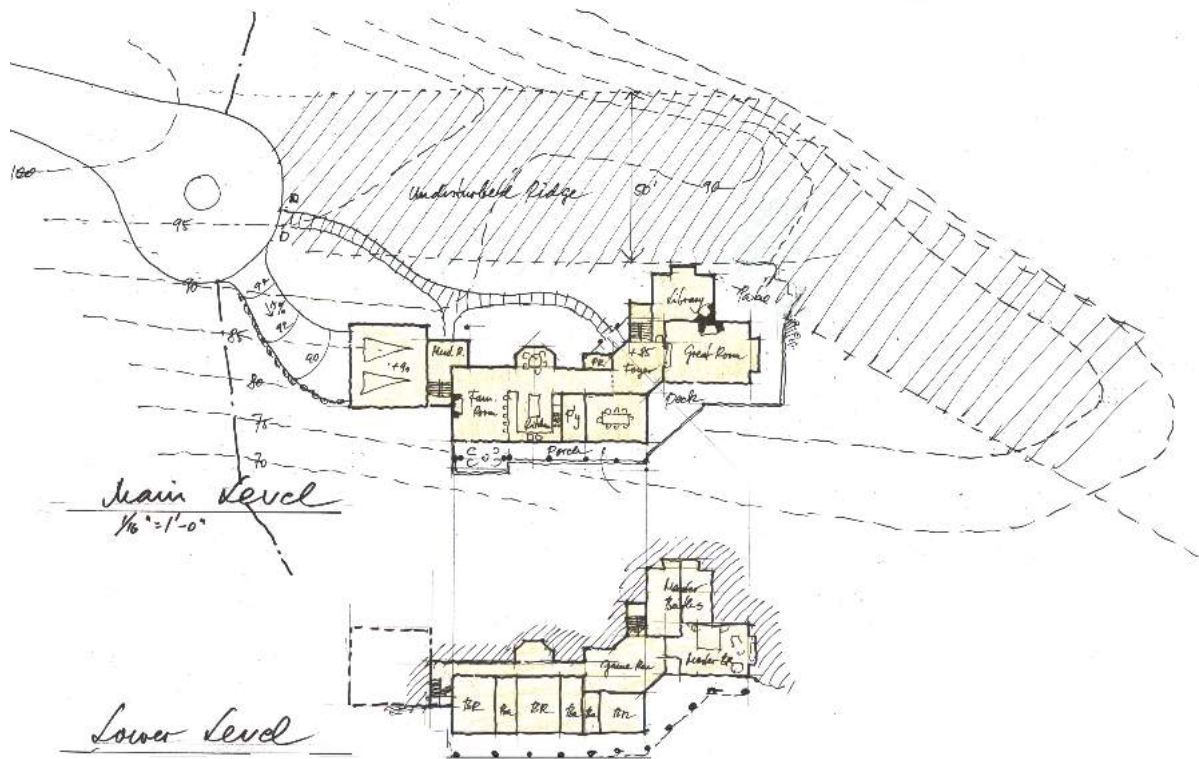
Ridgetop Landscape Diagram

In Section 8, Construction Guidelines:

All listed guidelines apply.



View Windows Diagram



Lot Site Diagram – Typical Lot Diagram at End of Ridge

**6.6 THE ASHFORD, MEADOWS ESTATES AND
THE SNEAD GOLF COURSE LOTS**

Supplement to the
Design Guidelines and Regulations
Architectural Review Board Manual

6.7 THE ASHFORD, MEADOWS ESTATES AND THE SNEAD GOLF COURSE "NEIGHBORHOODS"

The Community's Design Philosophy envisions a series of neighborhoods each with its own variations of the Guidelines tailored to the circumstances of its environment. The special attraction of the Ashford, Meadows Estates and Snead Golf Course neighborhoods are the opportunities to build homes, many with spectacular views across the adjacent golf course's, of the distant mountain ranges of the Greenbrier Valley or Howard's Creek. These homes are a place where families can live comfortably close to, and in harmony with, the beautiful natural environment.

THE VERNACULAR PORTFOLIOS

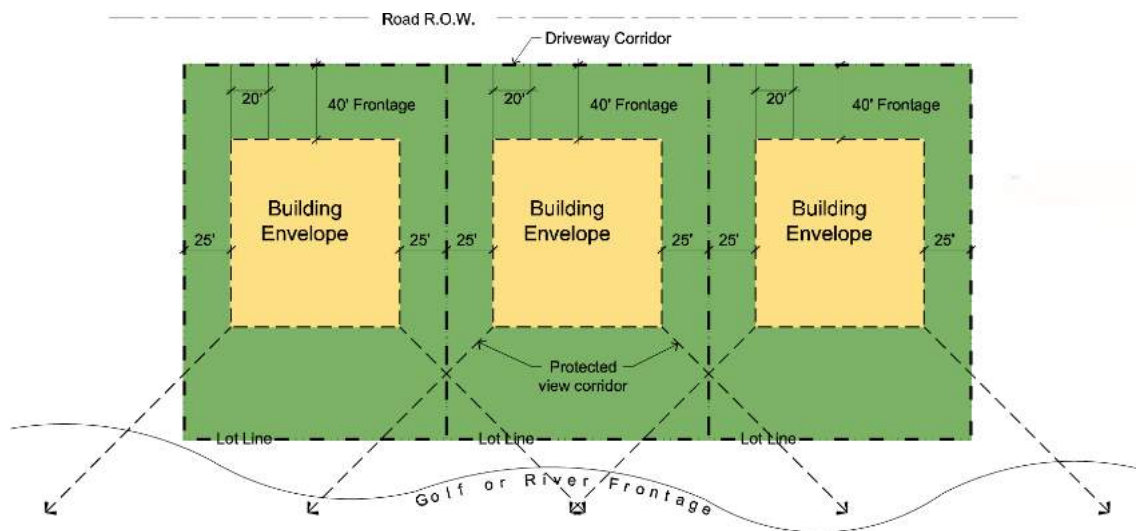
Because of its unique location, setting, and relationship to the Club Lodge, Lodge Cottages, and the Greenbrier Hotel, the Vernacular styles are most appropriate for the Meadows Estates and Snead Golf Course neighborhoods. The general characteristics of these styles are summarized in Section 4, Article 4.3 of the Design Philosophy. Illustrations of these styles are depicted in the ARB Image Bank.

INTERPRETING THE GUIDELINES

In order to help owners and designers apply the Site Development Guidelines (Section 5), Architecture Guidelines (Section 6) and Landscape Guidelines (Section 7), we have listed below the specific variations that apply only to the Meadows Estates and Snead Golf Course neighborhoods. Unless modified below, all other elements and items contained within the ARB Manual shall apply.

In Section 5, Site Development, the following additional notes apply to the Meadows Estates and Snead Golf Course neighborhoods:

- Given the lack of existing tree cover, homeowners are required to provide supplemental landscape plantings and screenings within the natural area of each site pursuant to the Landscape Guidelines in Section 7, and as amended below.
- Driveways and Parking Areas -Guest parking should generally be incorporated into the driveways and not in separate areas adjacent to the roadway, or solely within the Building Envelope. The final location of the driveway and any guest parking will be subject to ARB approval.



Typical Lot Setbacks and View Corridors

All setbacks for the Estate Lots within the Ashford, Meadows Estates and Snead Golf Course neighborhoods are atypical and designed to provide privacy between adjacent homesites and to protect view corridors equally among homesites. Specific setbacks for each lot also protect the play of the adjacent golf course. The final plan for each phase of the Meadows Estates and Snead Golf Course neighborhoods defines the specified setbacks for front, side and rear yards. These are on file with the ARB.

In Section 5, Site Development Guidelines, the following additional notes apply:

5.1 Anatomy of the Site:

Due to the location of the Ashford, Meadows Estates and Snead Golf Course neighborhoods within the Greenbrier Valley floor, the homesites are relatively “open” as compared to other sites within the Community. The nature of the level valley floor lends itself to a focus on additional landscape installations to provide privacy and separation between homesites.

5.2 View Corridors:

Each and every homesite within the Ashford, Meadows Estates and Snead Golf Course neighborhoods have the potential for wonderful views across the golf course or along the existing creek and for spectacular views to the mountains that form the edges of the Greenbrier Valley.

In Section 6 Architectural Guidelines, the following notes apply to the Ashford, Meadows Estates and Snead Golf Course neighborhoods:

In general, new construction is to be designed to blend into the valley floor setting. The key to this success will be the building massing. Building masses are to be composed of clusters of horizontal building forms appropriate to the topography and natural surroundings, and residential in scale. Building bulk is to be articulated into forms with dimensions that express interior spaces and/or groups of related rooms. Overall, the objective is to make structures blend into their backgrounds. The applications of this general principle are outlined further below.

In Section 6.1 Building Size:

The gross conditioned area of a home within the Ashford, Meadows Estates and Snead Golf Course neighborhoods on an Estate Lot may not exceed 6,000 square feet for the main residence and 2,000 square feet for a maximum of one (1) outbuilding, if allowed. The net area of a Cottage Lot home may not exceed 4,000 square feet. In no case shall there be more than 40% lot coverage by non-permeable elements. Building and rooflines for all lots shall reflect the horizontal nature of the terrain in the valley floor and shall be articulated into smaller elements with broken ridgelines to reduce apparent size. Owners should also refer to the Design Standards Matrix of the ARB.

In Section 6.2 Building Heights:

Given the location of the Ashford, Meadows Estates and Snead Golf Course neighborhoods in the Greenbrier Valley floor and the natural horizontal nature of the site, homes are to be designed to enhance this feeling of the valley profile and to minimize restricting views to the surrounding mountain ridges from adjacent homesites. Therefore, the maximum height of any structure within the Ashford, Meadows Estates and Snead Golf Course neighborhoods shall be thirty-six (36) feet from flood plain elevation to the highest ridgeline of the roof. Fireplace flues and approved chimney structures shall be allowed to extend up to an additional five feet above the ridgeline, cupola and vent

In 6.3.1 Garden Walls and Fences:

Free standing piers or garden walls, garden retaining walls not attached to the building foundation, and foundation wing walls shall have a maximum height of 4' and should generally be confined within the building envelope. All wing walls shall appear to be extensions of building foundation walls. Screen walls or fencing along roadways or lot lines will not be allowed. The permitted materials are: Natural stone, wood, brick, stucco and approved materials, AZEK with either a painted finish or factory applied and warranted finish ONLY with prior approval from the ARB.

See the general notes below for use of materials.

In 6.3.3 Roofs, Eaves and Gutters:

For roofs, all listed materials are permitted. The ARB may require the use of fast-weathering techniques on metal roofs. For gutters and downspouts, all guidelines apply. In addition, aluminum is to be painted to match the adjacent roofing material. Curved tile is not approved.

In 6.3.4, Exterior Doors, Windows, Shutters and Storm/Screen Sash:

All of the listed guidelines apply, except:

All glass visible from the Meadows golf course and Snead golf course is to be sheltered by overhangs whose depth is no less than 0.33 times the full height of the glass underneath it and designed to prevent reflections of the sky. Window frames and mullions are to project out beyond recessed glass surfaces to provide shadow lines. Large window surfaces are to be subdivided with structural members or integral, (not snap-in) muntins. Large (up to 40 square feet) single panes are acceptable provided they are well recessed, shaded and incorporated into a window composition that uses large scale vertical and horizontal structural members and includes multiple smaller sized panes.

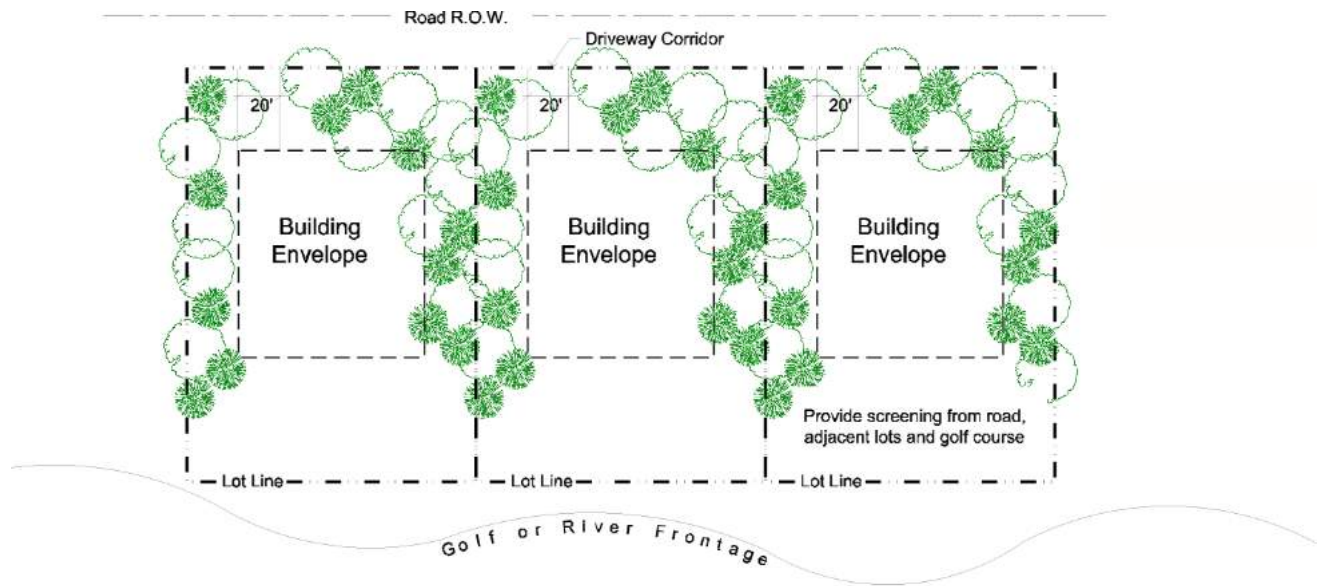
In 6.3.5 through 6.3.12:

All listed guidelines apply, except for color and texture requirements specified previously above.

In 6.3.13, Exterior Colors:

All listed guidelines apply and in addition: All materials, especially roofs are to have colors and textures that minimize reflections of the sky.

In section 7.1 Landscape Guidelines: All guidelines apply except as noted below:



Visual Integrity of the Natural Landscape

The valley floor is a distinct landscape dominated by indigenous trees and associated understory plants. Homes built in the valley floor have the potential for significant visual impact on other homesites and the Meadows golf course and Snead golf course if the new home is not properly blended into the natural landscape and screened effectively. Landscape plantings shall be used to provide an appropriate setting for buildings in the valley landscape and screen them from off-site views. All setback areas that have few existing trees or that have been damaged during construction are to be reforested in ways that assure continuity of the valley floor setting.

Landscaping and Plant Materials

The landscape design of each homesite shall blend with the overall valley floor setting. New plantings are to be used to enhance and protect important view sheds, help to define use areas on the Lot, to create privacy screens, and screen outdoor service areas and other improvements from adjacent lots and off-site views. Landscape improvements shall incorporate, rehabilitate and enhance existing vegetation, and utilize indigenous species primarily, with consideration given to deer resistant plants.

- Lawns --Manicured lawn areas are generally to be maintained in harmony with the neighborhood golf course and allowed only in areas adjacent to the primary residence.
- Trees, Shrubs and Groundcovers --Non-native ornamental plants maybe allowed as foundation planting and accent planting within the building envelope. Native plantings will be required in areas outside the construction zone and encouraged within the construction zone.
- Minimum tree and shrub sizes will be as determined in Section 7 of the design guidelines. The appropriate amount of trees and shrubs will be will be reviewed on a case by case basis. The Landscape Guidelines are defined in Section 7 of the Design guidelines will be uses as the basis for reviewing of all landscape plans including driveways, paths, outdoor stairs, terraces, exterior and site lighting and swimming pools.

7

LANDSCAPE GUIDELINES

7.1 LANDSCAPE, SIGNAGE, LOT IDENTIFICATION, LAWN ORNAMENTS & STATUARY, AND FLAG GUIDELINES

The landscape design of each Lot shall blend with its overall setting. New plantings are to be used to protect important view sheds, buffer exposure to adjacent houses and other improvements, help to define use areas on the Lot, and screen outdoor service areas and other improvements from adjacent lot and off-site views. With the assistance of a Landscape Designer and a Certified Professional Arborist, landscape improvements shall incorporate, rehabilitate and enhance existing vegetation. The installation of plant material requiring irrigation is highly discouraged. The utilization of indigenous species is encouraged. Consideration should be given to deer resistant plants. The proposed site plan should include the ground floor plan of all proposed structures showing the general layout of interior rooms with location of all exterior doors and windows. It should also show all finish floor and spot elevations and topography of all exterior landscape and hardscape areas and all existing landscape material that will be saved. This plan will be the base for all landscape plans submitted to the ARB. The following guidelines apply to all landscape zones:

New trees and shrub plantings are to be a mix of sizes that will blend naturally into the surrounding vegetation and consideration given to deer resistant plants:

Deciduous trees – 50% of mix: minimum 2 inch caliper; 50% of mix: minimum 3 inch caliper or larger

Evergreen trees – 50% of mix: minimum 8-10 foot height; 50% of mix: minimum 12-14 foot height or larger, and not be sheared

Flowering trees – a minimum 6-8 foot height

Shrubs – Minimum 3 gallon containers; 50% of mix: 5 gallon containers, the remainder 3 gallon containers

The use of large specimen trees is preferred in areas close to the house to help blend the building with the site

At disturbed areas where extensive reforestation is planned, a planting mix that includes smaller tree and shrub materials may be used provided the larger size requirements are adhered to in areas that are highly visible from off-site. Large areas of lawn uninterrupted by trees and shrubs is discouraged

- All signs are prohibited except as otherwise provided in the Declaration
- Consistent with 911 requirements, all houses must have signage noting the house number. Please reference the House Signage Template for further details
- All flags must be mounted to an appropriate flag stanchion attached to the exterior of the house and may not be freestanding. The pole shall not exceed 5'0" in total length
- Flags of a derogatory nature are not permitted
- Lawn/garden ornaments, free standing planters and statues are subject to ARB approval

All areas disturbed during construction, excluding outdoor living areas, are to be re-vegetated with native trees to blend with the surrounding forest, along with understory plantings arranged in the same associations as they occur on site. This includes areas within the homesite that are visible from off-site.

Landscape plantings shall augment and/or extend existing tree masses and patterns around buildings and outdoor improvements.

The use of ornamental, non-indigenous landscape plantings should be limited to the area close to and related to proposed structures and/or appear to be extensions of surrounding landscape zones.

Large transplanted material or nursery stock material shall be utilized to screen driveways and on property roads.

Revisions to approved landscape plans after a home has been completed must be submitted to the ARB for approval prior to removal or installation of plant material. A review fee will apply based on the scope of the work.

7.1.1 *Tree Removal and Selective Thinning*

The removal of trees on Lots is to be avoided whenever possible. The ARB may approve tree removal and/or selective tree thinning within the designated Building Setback. The ARB may also approve tree removal and/or thinning outside the designated Building Setback for view corridors provided it does not increase the visual impact on adjacent Lots or significantly increase the off-site visibility of the house. Unauthorized removal or cutting of trees is subject to fines. Subject to ARB approval, trees are to be removed and preserved as determined by a Certified Professional Arborist. The Arborist shall be responsible for recommending which trees are to be preserved given building location and construction activities and in what manner the trees are to be protected during construction.

Requests for tree removal and selective thinning on unimproved lots or on improved lots after a home has been completed must be submitted to the ARB for approval prior to removal or thinning.

7.1.2 *Driveways*

Driveways shall be 12 feet wide maximum, except where they provide a turnaround at a garage and/or off-street parking. Parking and turnaround areas must be located within the Building Setback. All driveways are to follow alignments that minimize grading, tree cutting, or other disruption of the site. The driveway-parking-garage layouts shall minimize the visibility of the garage doors and off-street parking from the street and from the major views from adjoining property. Approval by ARB of driveway material and color is required.

7.1.3 *Paths, Outdoor Stairs and Terraces*

Paths, outdoor stairs and terraces are to be designed to blend with the natural topography and vegetation, and with retaining walls, fences, or building foundations. Materials will be natural stone, chipped stone or gravel and/or wood, or handmade brick, as approved by the ARB. Note: asphalt is acceptable in the Copeland Hill and the Lodge Cottage neighborhood.

7.1.4 *Site Utilities*

All site utilities are to be installed underground on alignments that minimize grading, tree cutting and other disruption of the site. Utility boxes, including any meters, are to be located and/or screened to be essentially not visible from off-site. Back flow preventers shall be enclosed in a wooden box painted dark green or grey.

7.2 EXTERIOR LIGHTING

Designs for all exterior lighting must be submitted for approval by the ARB, including fixture cut sheets with lamps and wattages specified, with dimming and lamp shielding intentions for higher wattages indicated where applicable.

Exterior lighting may be focused only on the Owner's Lot, and should be tastefully designed with minimum intensity and effect on neighboring properties. In general, other than limited use of wall-mounted sconces, exterior lighting sources should have the lamps shielded from view, including lighting for walkways, unless decorative lanterns are used. An excessive number of fixtures and light levels or glare are prohibited.

Exterior lighting is discouraged within setback areas, except at entry drives and off street entry paths.

Dimming capabilities are recommended for all exterior lighting, and exterior motion sensor controls are not permitted except if programmed to dim on and off, with a six second minimum fade rate.

7.3 SITE LIGHTING

Lights must be turned away or outfitted with shields to prevent light intrusion onto common areas or other neighboring lots. Recessed step lights should have louvers or hoods to hide lamps from view. Down lighting, up lighting, sky or moonlighting are not allowed.

Halogen bulbs with white light are encouraged. Light emitting diodes ("LED"), standard incandescent bulbs and, fluorescent bulbs are permitted with color temperatures in the range of 2,700 degrees Kelvin. High pressure sodium bulbs, mercury vapor, or metal halide bulbs are not permitted for exterior lighting.

Landscape lighting systems requiring remote low voltage transformers must completely conceal the equipment from view by shrubbery or plantings if above grade or, if below-grade, in waterproof NEMA enclosures.

Small solar-powered "push-in" pathway lights are acceptable as long as they do not exceed 18" in overall height once installed.

Trenches around root systems must be hand-dug as necessary for the health of trees and plantings.

The anchoring of light fixtures to plant or tree trunks and branches is not allowed.

7.4 SWIMMING POOLS

Swimming pools must be in-ground and are subject to site review and approval by the ARB.

7.4.1 Pool Fencing

Pool fencing must be as required by local codes, and utilize approved fencing materials (see 6.3.1). The fence must be screened with approved landscaping.

7.4.2 Pool Equipment

All pool equipment must be located in side or rear yards in locations which minimize noise on to adjacent lots and appropriately screened (see 6.3.14).

7.4.3 Pool Cabanas

Pool cabanas are permitted only with ARB approval and must be situated within the setbacks established for the applicable homesite. If conditioned then it will be considered an outbuilding.

7.5 TREE POLICY

Refer to Section 10.13 regarding permission required for tree removal.

7.6 OUTDOOR FIRE PITS, FIREPLACES , PLAYSETS AND LAWN FURNITURE

Outdoor fire pits and fire places may be wood burning except for in the Ridges and Summit neighborhoods and must have a spark control. Play sets and lawn furniture must be approved and be consistent with design of other improvements.

8

CONSTRUCTION GUIDELINES

8.1 CONSTRUCTION TRAILERS, PORTABLE FIELD OFFICES, SITE ACCESS

Any Owner or Builder who desires to bring a construction trailer or field office into the Community shall first apply for and obtain written approval from the ARB. To obtain such approval, a copy of the architect's site plan shall be submitted showing the proposed locations of such structures. All temporary structures shall be removed upon completion of construction.

The Builder must purchase Proximity Cards in order for those employees and sub-contractors that are working on your site to access their work site. The Builder is held accountable for all of their sub-contractors and for informing them of the rules and regulations for working in the Community.

8.2 FENCING

To protect the natural area of a Lot and trees to be preserved from damage due to construction operations, the ARB will require that a fence at least three (3) feet in height be installed to completely surround those trees to be preserved. The fence shall follow the alignment as directed by a Certified Professional Arborist in order to adequately protect those trees to be preserved, and shall be maintained intact until the completion of construction.

8.3 CONSTRUCTION OUTSIDE THE BUILDING ENVELOPE

If it is necessary to conduct construction activities outside a Building Envelope to complete an improvement falling within the Envelope, the Owner of the Lot, or his representative, must submit to the ARB for approval a boundary description of the lot, the Building Envelope and the proposed encroachment. The ARB will require the construction area outside the Building Envelope to be returned as closely as possible to its original condition.

8.4 TRASH REMOVAL, OUTDOOR BURNING AND CONSTRUCTION SITE

Builders shall clean up all trash and debris on the construction site at the end of each day. Each site shall have a dumpster or other appropriate receptacle for trash disposal. Trash and debris shall be removed from each construction site frequently and not be permitted to accumulate including food and food waste as to not attract wildlife. Lightweight materials, packaging, and other items shall be covered or weighted down to prevent their being blown off the construction site. Builders are prohibited from dumping, burying, or burning trash anywhere on Community property or The Greenbrier Estate. During the construction period, each construction site and the route to and from the construction site shall be kept neat and clean. Outdoor burning of any kind is not allowed. Unightly dirt, mud, or debris from activity on each construction site shall be promptly removed and the general area cleaned up. Concrete washout onto ground is not permitted. All concrete washout and debris must be disposed of properly in a trash receptacle or dumpster. Disposal of construction materials and/or waste in an on-site burial pit is not allowed.

8.5 SANITARY FACILITIES

Each Builder shall be responsible for providing adequate sanitary facilities for its construction workers. Portable toilets or similar temporary toilet facilities shall be located only within the Building Envelope or in another area approved by the ARB. Lattice screening must completely surround the temporary toilet facilities on all four (4) sides and be painted a dark green.

8.6 VEHICLES AND PARKING AREA

Construction crews subcontractors or service personnel shall not park on, or otherwise use, other Lots or any open space. Private and construction vehicles and machinery shall be parked only within the Building Envelope, in areas designated by the ARB or on the pavement of Community streets as long as traffic can move safely and freely. All vehicles shall be parked so as not to inhibit traffic or damage trees or other vegetation. The ARB may require that crews be shuttled in to the job site if parking is or becomes an issue.

Each Builder shall be responsible for its subcontractors and suppliers obeying the speed limits posted within the Community and The Greenbrier, which are 15 mph unless otherwise posted. Fines will be imposed against the Builder for violations. Adhering to the speed limits shall be a condition included in the contract between the Builder and its subcontractors' suppliers. Repeat offenders may be denied future access into the Community.

Access to the construction site shall only be through the cleared driveway opening for the Lot unless otherwise approved by the ARB. Parking or storage is prohibited in any natural area or setback. The Builder shall be responsible for restoring natural vegetation damaged as a result of his activities.

8.7 CONSERVATION OF LANDSCAPING MATERIALS

Builders are advised that the Lots and open spaces of The Greenbrier contain valuable native plant and other natural features, such as top soil, that should be absolutely protected during construction. Hunting, collection of flora and fauna, and damage to existing natural features are prohibited.

8.8 EXCAVATION MATERIALS

Excess excavation materials must be hauled away from the Community and The Greenbrier, and disposed of legally. Appropriate measures shall be taken to protect Natural Areas, surrounding properties and buried utilities from damage.

8.9 CARE OF TREES DURING CONSTRUCTION

The following are requirements during construction:

- All trees scheduled to be preserved must be protected from damage during construction. A plan for such protection shall be prepared by a Certified Professional Arborist prior to the commencement of construction.
- Fencing consistent with the plan prepared by the Certified Professional Arborist must be erected and maintained around the drip line of each tree to be preserved.
- Excavations and installation of underground utilities shall be performed in such a manner as to avoid damaging the root systems of trees to be preserved; hand dig trenches within the drip line of significant trees.
- If, in the judgment of the ARB, a tree is damaged or destroyed due to carelessness or avoidable activities on the part of the Owner or Builder, the ARB may require the Owner to plant suitable replacements.

8.10 RESTORATION OR REPAIR OF OTHER PROPERTY DAMAGES

Damage and scarring to any property or other Lot, including, but not limited to roads, driveways, concrete curbs, gutters, utilities, vegetation and/or other improvements, resulting from construction operations will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly and any expenses are those of the Builder, and, in the event of default by the Builder in meeting these obligations, the Owner who has retained the Builder shall be responsible.

8.11 MISCELLANEOUS AND GENERAL PRACTICES

All Owners and Approved Builders will be absolutely responsible for the conduct and behavior of their agents, representatives, builders, contractors, and subcontractors while on premises in the Community. The following practices are prohibited (see form ARB1100 Rules and Regulations):

- Changing oil on any vehicle or equipment on the site itself or at any other location within the Community
- Disposing of concrete or plaster washout anywhere on the premises in the Community other than in proper receptacles or dumpsters
- Allowing concrete suppliers, plasterers, painters, or any other subcontractors to clean their equipment anywhere but the location specifically designated, if any, for that purpose by the ARB
- Removing any plant material, topsoil, or similar items from any property of others within the Community, including other construction sites or transporting out of the Community
- Carrying any type of firearms within the Community
- Unauthorized use of or sharing of Gate Devices or Cards
- Using disposal methods or equipment other than those approved by the ARB
- Careless disposition of cigarettes and other flammable material; at least one five (5) kilogram quality rated dry chemical fire extinguisher shall be present and available in a conspicuous place on the construction site at all times
- Careless treatment or removal of protected plant materials or plants not previously approved for removal by the ARB
- Use of, or transit over, common area
- Hunting, Trapping
- Fishing in any creeks or ponds
- Feeding wildlife
- Bringing of pets, particularly dogs, into the Community by construction personnel; in the event thereof, the ARB or the Community Management shall have the right to contact authorities to impound the pets, refuse to permit the Builder or subcontractor involved to continue work on the project, or to take such other action as may be permitted by law or the Declaration
- Playing of radios and other audio equipment on construction sites in the Community ; this is to avoid negatively impacting the peaceful enjoyment of Owners and their guests of the Community and to insure safety and communication for workers
- Shirts to be worn at all times
- Any behavior deemed unacceptable by the ARB

8.12 CONSTRUCTION ACCESS

The only approved construction access during the time a residence or other improvement is under construction will be over the approved driveway for the Lot unless the ARB approves an alternative access point.

The location of the Community construction entrance along with the standard procedures and operation of the entrance gate will be determined from time to time and issued to each Builder working within the development.

All deliveries of materials to the site shall be escorted by a representative of the Builder. The ARB shall be notified prior to and departure of any oversized vehicles or equipment coming onto property and they shall be escorted in and out of the site by a representative of the Builder.

8.13 DUST AND NOISE

The Builder shall be responsible for controlling dust and noise, including, without limitation, those from the construction site.

8.14 CONSTRUCTION SIGNAGE

Temporary construction signs shall be limited to one sign per Lot not to exceed six (6) square feet of total surface area. The sign shall be free standing within the Building Envelope, unless otherwise approved, and its graphic design shall follow the template established by the ARB. (See Signage Template in the forms section)

- Signs shall be single-faced, panel type, with a maximum area of six (6) square feet; no additional signs may be attached to the main sign or be suspended below it
- Colors of signs shall be determined by the ARB
- Information such as “For Sale,” “Available” or similar language, or descriptive phrases such as “3-bedroom” may not appear on any construction sign
- Construction signs must be removed at the time the house is substantially complete or when the ARB directs the sign to be removed

8.15 DAILY OPERATION

Access to property is not allowed until 7:00 am. Daily working hours for each construction site shall be 7:30 a.m. to 6:30 p.m. except in areas adjacent to the guest cottages and hotel (White Sulphur Hill, Reservoir Hill, Copeland Hill, Lodge Cottages and Springhouse Cottages and Greenbrier Village) where exterior and noisy work may not start before 9:00 a.m., except in off-season months. Construction is not permitted on certain holidays – New Year’s Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, Christmas Eve and Christmas Day or any other day or days that the ARB determines to be a non-work period. Saturday work is permitted on a case by case basis and must be requested 48 hours in advance to the ARB Administrator. Saturday work, including interior work, is not allowed on Thanksgiving weekend or the Saturday after Christmas.

8.16 RULES AND REGULATIONS

This list of work rules (Form ARB1100) is located in the Forms and Charts section of this manual and is required to be included as part of all contractual agreements with contractors and sub-contractors.

These rules and regulations are also to be posted on the construction site at all times.

9

USE OF PROFESSIONALS

9.1 ARB APPROVAL OF PROFESSIONALS

All professionals employed by Owners in the construction process shall be subject to the approval of the ARB. Owners must employ previously Approved Architects, Approved Builder, Approved Landscape Designers and Installers or, if not previously approved by the ARB, submit the required documents to be considered for approval by the ARB for their project. Only professionals approved by the ARB shall be entitled to participate in the design and construction of residences in the Community.

Approval by the ARB is not a warranty or guaranty by the ARB, Club, Community, or Greenbrier Hotel as to the qualifications or any professions, but rather specifies that the professional has met the criteria deemed necessary to work within the Community as set out in Section 9.5.

9.2 ARCHITECT

Each Owner must use a current West Virginia licensed architect to provide design services. Design services shall include, but are not limited to, the Site Analysis, Schematic Design, Design Development, Construction Documents and Construction Administration adequate to confirm that the residence is built in compliance with the ARB approved plans.

9.3 LANDSCAPE DESIGNER

Employing a professional a landscape designer familiar with the native plant palette and environment is required to encourage a residence wedded to the lot and surrounding site. The building architect and landscape designer must ensure that the house design and landscaping are coordinated and conform to the requirements of these Guidelines.

A landscape designer works with the architect to design elements outside the building envelope. In addition, the landscape designer may collaborate with the architect to determine the optimal placement of the residence on the site and its relationship to the surrounding property. Other responsibilities of a landscape designer includes planned improvements such as driveways, service yards, parking, roads, utilities, walks, decks, terraces, pools, gardens, grading, drainage, outside lighting, and trees and shrubbery.

9.4 APPROVAL PROCESS FOR PROFESSIONALS:

9.4.1 A professional, architect or designer who is not on the ARB Approved Professionals List and who has been requested by an Owner to undertake a project in the Community is required to proceed as follows:

Submits a Professional Qualifications Statement. The ARB, after review of the submitted documents and an interview, if requested by the architect or by the ARB, may either:

- A. Grant immediate approval to commence work and be placed on the ARB Approved List; in this case no further review of qualifications is required.
- B. Grant conditional approval for design for one residence. Such approval by the ARB is conditional and limited to the project for which the applicant has been retained. The conditionally approved applicant must satisfactorily complete the normal approval process of the ARB for the Owner's residence through the Construction Document submission or the Final Landscape Plan. At completion of design process, should the conditionally approved applicant choose to pursue Approved status, upon request, the ARB will reevaluate the qualifications statement. If placed on the ARB Approved Professionals List, the

applicant may accept subsequent commissions without need for further review of qualifications by the ARB.

- C. Reject the application and require an alternate selection by the Owner.

Note: The ARB reserves the right to remove anyone from the ARB Approved Professionals List for underachievement relating to the ARB or the execution of a project in the Community, or for reasons relating to the professional conduct or standing.

10

APPROVAL PROCESS

10.1 INTRODUCTION

As provided by the Declaration, the ARB is charged with maintaining the environmental and development standards of the Community. All construction, including any exterior alterations to an existing home and any alteration of the landscape are subject to ARB approval. An ARB Review Fee will be charged for all Plans Changes made after a home has been completed based on the scope of the change.

While the ARB has taken steps to make its objectives clear with these Guidelines, compliance with the Guidelines does not guarantee good composition. In addition to being proactive in the communication of its goals and review process, the ARB intends to become a positive contributor in design situations where the ARB is dissatisfied with issues of general composition, design integrity, the lack of durability or sense of permanence. In these cases, sketches may be offered to address specific items, and the ARB may require a personal meeting with the applicant to discuss alternatives

ARB RESPONSE TIME

The ARB will establish and publish a monthly meeting schedule and meeting location. All submissions, including revisions and minor changes, must include complete documents and materials required for review and a submission must be received by the ARB eight (8) calendar days in advance of a monthly meeting. To the extent that submissions are incomplete, no action will be taken by the ARB until the deficiency is corrected. In the event that a submission is not received on a timely basis the review will be delayed until the following month's meeting. The Owner and the Approved Architects are encouraged to attend meetings to present plans. All submissions will have a written response.

10.2 SUMMARY OF APPROVAL PROCESS

Owners and Approved Architects are reminded that significant changes can result from comments received from the ARB that can have a substantial effect on the design and the timing of construction; Owners and Approved Architects are advised not to advance out of a phase until pertinent approvals are received in writing.

The Approval Process for all new construction consists of the following phases:

- Fee Payment (see Form ARB1600)
- Professional Qualifications Statement Submittal and Approvals (if necessary, see Section 9 above)
- On-Site Concept Meeting (optional)
- Schematic Design Review and Approval
- Conceptual Landscape Review and Approval
- Design Development Review and Approval
- Construction Documentation Review and Approval
- Pre-Construction Conference
- Approval to Proceed with Construction

- Construction Period Documentation Submittals, Inspection and Approval
- Dry-in Documents, Inspection and Approval
- Material Sample Board Review and Approval
- Final Landscape Plan Review and Approval
- Final Inspection Documents, Approval and Certificate of Completion

10.3 ON-SITE CONCEPT MEETING (optional)

To initiate the review and approval process prior to preparing any drawings for a proposed structure or improvement, the Owner and Approved Architect may request a site meeting with the ARB to discuss the proposed scope of work and to explore and resolve any questions regarding building requirements or interpretation of the Guidelines or approval process. This informal discussion offers potentially useful guidance prior to the initiation of Schematic Design.

This site visit will include a visual survey of the site including both its immediate surroundings and the broader environment. It is important that the Owner and Approved Architect understand the unique features that exist on each site and its context in order to arrive at a responsive and successful design.

Topics that will be covered in this meeting include:

- Topography and vegetation. Of particular interest are hardwood trees over twelve (12) inches in diameter and softwood trees over twenty (20) inches in diameter;
- Suggested or required site-specific setbacks
- Surveyed lot perimeter
- Known or existing easements
- Appearance of the proposed structure from public areas
- Existing and future buildings and other development adjacent to the lot
- Location of existing and proposed utilities and drainage plan
- Other site features of value.

10.4 SCHEMATIC DESIGN REVIEW

The Schematic Design submission is the first formal submission to the ARB and constitutes a critical step in the ARB process. By providing the ARB with the opportunity to review design sketches at an early stage in the project, Owner and the Approved Architects can explore the viability of their approach while retaining the flexibility to incorporate ARB recommendations. Architectural style, proportion and massing, and the anatomy of the site and the impact of the proposed structure on the surrounding environment will be among the issues examined closely.

The following documents and actions are required to initiate the Schematic Design review:

- Completed Form 300 indicating proposed materials, finishes and colors; building size and lot coverage; and other project data
- Site plan (minimum 1:20 scale) showing a neighborhood location map; building envelope, setbacks and easements; the residence and all other buildings or major structures; existing and proposed topography; location of any significant site features; and the location of any trees to remain or be removed; proposed area of disturbance; walks and drives; view corridors; north arrow. The site plan should include the ground floor plan of all proposed structures showing the general layout of interior rooms with location of all exterior doors and windows. It should also show elevations and topography of all exterior landscape and hardscape areas and all existing landscape material that will be saved. This plan will be the base for all landscape plans submitted to the ARB.
- A Certified Professional Arborist, approved by the ARB, shall be employed to determine which trees are to be removed and which trees are to be preserved. The Arborist shall visit the site to review the preliminary staking of the house and other improvements (see below) and review the existing trees on the site. The plan of the trees to be removed and those to be preserved shall be prepared based on the Arborist's field observations. The name and address of the Arborist shall be included on the site plan
- A site section (minimum 1:20 scale) through the principal structure showing existing and proposed grades
- Conceptual floor plan(s) and principal elevations (minimum 1/8" scale) demonstrating conformance to Guidelines and Design Standards Matrix
- Conceptual landscape plan indicating new and existing areas of lawn, planting beds, trees and shrubs; walks and drives; and drainage concepts (Section 7)
- Preliminary staking of the site must be completed in conjunction with the submission of the Application for Plans Review. Detailed staking requirements can be found in the Field Staking Specifications

Four (4) sets of the above documentation along with electronic files in PDF format shall be submitted to the ARB.

The ARB will review the submission and respond in writing to the Owner and applicant(s).

10.5 DESIGN DEVELOPMENT REVIEW

The following documents, submittals and actions are required to initiate the Design Development review:

- Completed Form 300 with updated information from Schematic Design submission
- Signed Drainage Compliance Agreement (Form 400)
- Updated site plan (minimum scale 1:20) showing neighborhood location map; the locations and areas of the building envelope; the residence and all other buildings or major structures; distances from proposed structures to nearest structures (if any) on adjacent Lots; driveway; parking areas; patios; pools; walls; proposed utility service facilities and routes; site grading including existing and proposed contours at two (2) foot intervals; topographic features including location of any significant site features; the location of any trees to remain or be removed (see Schematic Design Review requirements regarding the required consultation of a Certified Professional Arborist); proposed area of disturbance; elevation benchmarks of all finish floors, patios, and terraces, shown in relation to site contour elevations; and a preliminary

drainage plan. The proposed site plan should include the ground floor plan of all proposed structures showing the general layout of interior rooms with location of all exterior doors and windows. It should also show elevations and topography of all exterior landscape and hardscape areas and all existing landscape material that will be saved. This plan will be the base for all landscape plans submitted to the ARB.

- An updated site section (minimum 1/4" scale) through the principal structure showing existing and proposed grades
- Floor and roof plans (1/4" scale); roof plans should show areas of sloped roofs, lanterns, cupolas, chimneys and roof mounted equipment
- Exterior elevations (1/4" scale) of the residence indicating existing and proposed grade lines; exterior materials; and elevation benchmarks for grade, roof ridgelines and parapets
- An updated schematic landscape plan if required
- An updated site staking, if requested by the ARB

Two (2) sets of the above documentation along with electronic files in PDF format shall be submitted to the ARB.

The ARB will review the submission and respond in writing to the Owner and applicant(s).

10.6 CONSTRUCTION DOCUMENTATION REVIEW

The following documents, submittals and actions are required to initiate the Construction Documentation review:

- Form 800 "Checklist for Final Review Submission and Form 300, updated from previous submissions with detailed information regarding all exterior finishes
- Complete set of construction documents that exactly replicate those from which the Approved Builder will construct the proposed structures, including all Schematic and Design Development plans and data updated as required; typical wall section(s) indicating wall assemblies, materials, trim details and other major architectural elements; door and window details (minimum 1" scale)
- Samples of exterior materials and colors (if not available a submission indicating the general color palette will be acceptable. Any colors submitted for approval must be applied to materials to be used on the building.), window and glass specifications including muntin bar width, and accent items including color photographs of any exterior artwork. These items should be clearly marked with Owner's name, filing date, and Lot number, and identified with manufacturer's name, color, and/or product number
- Updated site plan (minimum 1:20 scale) showing neighborhood location map; the locations and areas of the Building Envelope; the residence and all other buildings or major structures; distances from proposed structures to nearest structures (if any) on adjacent Lots; driveway; parking areas; patios; pools; walls; mechanical equipment; landscape lighting; proposed utility service facilities and routes; screening for HVAC units, service yards and trash enclosures; site grading and grading plan, including existing and proposed contours at two (2) foot intervals; topographic features; the location of any trees to remain or be removed (see Schematic Design Review requirements regarding the required consultation of a Certified Professional Arborist); proposed area of disturbance; elevation benchmarks of all finish floors, patios, and terraces, shown in relation to site contour elevations; all underground utilities including, but not

limited to, water lines, septic systems, sewage grinder pumps, septic tank effluent systems, telephone lines, cable lines, irrigation lines, and lighting. The proposed site plan should include the ground floor plan of all proposed structures showing the general layout of interior rooms with location of all exterior doors and windows. It should also show elevations and topography of all exterior landscape and hardscape areas and all existing landscape material that will be saved. This plan will be the base for all landscape plans submitted to the ARB.

- Form 1700, a time schedule indicating approximate dates for construction commencement, completion of dry-in, construction completion, completion of landscaping work, and anticipated occupancy date
- All plants proposed for transplanting shall be tagged in a manner prescribed by the ARB
- Site staking must be updated, incorporating design changes and approvals from previous submissions

Two (2) sets of the above documentation along with electronic files in PDF format shall be submitted to the ARB.

The ARB will review the submission and respond in writing to the Owner and applicant(s).

10.7 ARB APPROVALS

10.7.1 Approved

If plans are “Approved”, the Owner and the Approved Architect may continue to the next phase of the Approval Process.

10.7.2 Approved with Comments

If plans are “Approved with Comments” the Owner and Approved Architect may continue to the next phase of the Approval Process but are asked to consider, but are not required to incorporate, the recommendations of the ARB.

10.7.3 Approved Subject to Stipulations

If plans are “Approved Subject to Stipulations,” the Owner and Approved Architect may continue to the next phase of the Approval Process but are required to incorporate the stipulated changes prior to submitting the plans for the next phase of the review process.

10.7.4 Not Approved

In the event that plans are “Not Approved,” the ARB will provide a written description of the basis for denial. Prior to re-submitting the application, the Owner and Approved Architect should consult with the ARB to review the deficiencies.

10.7.5 Written Approvals/Oral Statements

Written approvals and comments shall be the sole source of reference regarding ARB decisions. Oral statements may not be relied upon unless incorporated into written comments and received from ARB.

Any exterior changes made subsequent to the Final Review must be presented to the ARB for further consideration and approval.

10.8 ARB DECISIONS AND ENFORCEMENT

Given the uniqueness of each homesite in the Community, all approvals granted by the ARB are subject to a specific review and do not set any precedents for future decisions. The ARB will review all submitted plans and render one of four types of decisions in writing, as described above in Section 10.7. The ARB shall have the right to reject designs and to demand that modifications be made, including modifications to materials and colors.

10.9 VARIANCES

All requests for variances from the Guidelines must be made in writing using the ARB Form 500 “Variance Request”. A variance “may” be considered, especially in the case of setback relief, on sites where existing topography and/or site features may significantly limit reasonable site development. **A variance will not be granted for any self-imposed hardship, such as an aggressive land development or large house program.** The ARB has full authority to consider and grant variances at their discretion. All variances granted shall be considered unique and will not set any precedent for future decisions.

10.10 RE-SUBMITTAL OF DRAWINGS

In the event the ARB does not approve the Schematic Design, Design Development or Construction Documentation the resubmission of revised documents must follow the same procedure as the original submittal.

10.11 APPROVAL TO PROCEED WITH CONSTRUCTION

After approval of the Construction Documentation, the ARB will forward a written authorization to proceed with construction to the Owner and applicant(s). Approval of the Construction Documentation does not relieve the Owner and Approved Architect from responsibility for compliance with the Declaration and the requirements of all governmental agencies.

10.12 APPROVAL EXPIRATION

If substantial construction has not commenced within a period of 12 months from the date of Final Approval, the ARB will request a re-submission of plans for approval in order to assure compliance with the then existing Guidelines. Any change(s) from the previously approved plan will require an additional review fee based on the extent of changes made. Approval greater than 3 years may require a complete new submission as well as the then current ARB Construction any Services Fee.

10.13 PRE-CONSTRUCTION CONFERENCE

Prior to the commencement of construction, an on-site pre-construction conference shall be held with the Owner’s Approved Builder. The purpose of the Pre-Construction Conference is to discuss the construction rules and regulations, and to ensure that guidelines for site access, construction and silt fencing, drainage, grading, on-site storage of construction materials, tree protection and other construction issues are followed. The Approved Builder is responsible for scheduling the Pre-Construction Conference prior to any clearing, site preparation, material deliveries, or the beginning of any construction work. The Approved Builder must submit a proposed site management plan at the Pre-Construction Conference which shows the proposed locations of the construction and silt fencing, storm water management during construction, on-site storage of construction materials, tree and existing landscape protection, vehicle parking, portolet and other construction related issues. Also prior to the Pre-Construction Conference, the site stakeout should be updated to reflect changes, if any, stipulated during the Construction Documentation review. The Tree Removal Application (Form ARB700) shall be submitted and the Certified Professional Arborist responsible for the preparation of the plan identifying trees to be removed and trees to be preserved (see Schematic Design Review) shall prepare the plan for tree and existing landscape protection and shall be present at the Pre-Construction Conference to review the tree protection requirements.

10.14 GREENBRIER SPORTING CLUB COMMUNITY ASSOCIATION BUILDING PERMIT

It is the responsibility of the Owner to obtain required permits from any city, county, state, or federal agencies having jurisdiction for required permits. The ARB must be notified of any changes to the construction documents resulting from external agency reviews. Approval by the ARB does not guarantee approval by any governing agency.

Following the Pre-Construction Conference and after the receipt of a Greenbrier County Building Permit a Greenbrier Sporting Club Community Association Building Permit may be requested.

The Greenbrier County Building Permit and the Greenbrier Sporting Club Community Association Building Permit must be displayed prominently on the construction site for the duration of construction as well as the ARB Construction Guidelines and Rules and Regulations.

At the time a Greenbrier Sporting Club Community Association Building Permit is requested, the Owner and the builder must submit the Compliance Deposit and Compliance Deposit Agreement (ARB Forms 1200 & 1210) and the fully executed Letter of Agreement (ARB Form 1300).

10.15 CONSTRUCTION PERIOD DOCUMENTATION SUBMITTALS AND APPROVAL

The following requirements are to be addressed during the construction period:

- Final exterior color samples are to be submitted for approval by the ARB if not submitted and approved at the Construction Documentation submittal. All colors submitted for approval must be applied to materials to be used on the building.
- A material finish board is to be constructed according to the Exterior Material Finish Model template and placed on site within two (2) months of construction commencement for the ARB to review and approve prior to any exterior finishes going onto to the house.
- At least three (3) months prior to the anticipated substantial completion of the house, a final landscape plan in a minimum 1:20 scale indicating the location, size, species and quantity of all trees, shrubs and ground covers shall be submitted to the ARB for approval, see Section 7.
- Product cuts and/or photographs of exterior lighting fixtures for proposed structures and landscape, and documentation of their location(s), materials and finishes, shall be submitted to the ARB for approval prior to installation.

10.16 CONSTRUCTION AND EXTERIOR CHANGES

Owners requesting changes in approved plans should submit the ARB form "Plans Change Request" and consult with the ARB to determine the process applicable to the requested changes prior to changes being made.

Exterior construction or landscaping changes to the subject property shall receive prior written approval from the ARB. Applicants requesting design change approvals should submit the ARB form "Plans Change Request" and consult with the ARB to determine Design Documents required for approval. Any expansion to the original structure will require a revised as built survey, flood recertification if required, one (1) hard copy and PDF of a CAD based file at completion by a licensed and certified Surveyor.

10.17 JOB SITE PLANS

A complete set of current approved plans must be maintained on the job site at all times.

10.18 ENFORCEMENT/WORK IN PROGRESS INSPECTION

The ARB or its representatives shall have the right, during reasonable hours, to enter upon any site to inspect and ensure that all structures and improvements are constructed in conformance with the approved plans. Any structure, improvement or landscaping constructed that deviates from the approved plans shall be deemed to be nonconforming. Upon written request from the ARB, Owners shall, at their own cost and expense, remove such structure or improvement and restore the property to substantially the same condition as existed prior to the

nonconforming work. Should an Owner fail to remove and restore as required, any authorized agent of the ARB shall have the right to enter the property, remove the violation, and restore the property to substantially the same condition as previously existed. Entry for such purposes shall not constitute a trespass. All costs, together with the interest at the maximum rate then allowed by law, may be assessed against the Owner and the benefited site, or may be deducted from the applicable Completion Deposits.

Unless otherwise specified in writing by the ARB, all approvals granted shall be deemed conditioned upon completion of all elements of the approved work and all work previously approved with respect to the same site, unless approval to modify any application has been obtained. In the event that any Owner fails to commence and diligently pursue to completion all approved work, after notice to the Owner and opportunity to be heard in accordance with the Declaration, the ARB has the right to enter upon the site and remove or complete any incomplete work and assess all costs incurred against the site and the Owner thereof.

10.19 INTERMEDIATE INSPECTION

The Contractor shall provide the ARB with a completed “Inspection Request” form as written notice to schedule a Dry-In Completion inspection at the completion of framing with doors and windows installed.

10.20 COMPLETION INSPECTION

The architect shall provide the ARB with a completed “Inspection Request and Certificate of Compliance” form (ARB Form 1400) as written notice upon the completion of all construction. Thereafter, the ARB shall conduct an inspection for the issuance of a Greenbrier Sporting Club Community Association Certificate of Completion and will review the property and neighboring areas for purposes of determining what portion of the Completion Deposits, if any, will be refunded. The Approved Builder, Landscape Designer and Landscape Installer should be present at the inspection. It is recommended that the Approved Architect and the Owner also be present.

Prior to the inspection, the Approved Architect shall be required to submit a written verification that the project was completed in accordance with the plans approved by the ARB. At the inspection, a representative from the ARB will inspect the site for compliance, screening, construction damage to vegetation, removal of all stacked material and construction debris, etc. If there is no damage or cleanup needed, the Approved Builder shall receive its Compliance Deposit refund (less any set-offs) and the Owner will receive a Greenbrier Sporting Club Community Association Certificate of Completion. Homes may **NOT** be temporarily or permanently occupied until The Greenbrier Sporting Club Community Association Certificate of Compliance has been issued, even if the county has issued a certificate of occupancy permit

Documents and requirements to be submitted to the ARB prior to the return of the Completion Deposits are as follows:

- “As-Built” Survey including Flood Re-Certification if required
- Greenbrier County Certificate of Occupancy
- City of White Sulphur Springs approval of water connection and sewer connection if required
- Third party inspection of sewage grinder pump or septic tank Effluent system if required
- Lot corner pins exposed and visible
- Landscape complete and installed as per ARB approved Landscape Plan
- Final As Built Form 300

- PDF of Final As Built Construction Plans
- “Inspection Request & Certificate of Compliance” ARB Form 1400

Note: Under special circumstances the ARB may grant, at its discretion, a conditional Certificate of Completion if requested by an Owner prior to the completion of all exterior improvements.

10.21 DEFICIENCIES

If the ARB finds that the permitted work was not in compliance with the approved plans and specifications, the ARB will issue a letter to the Owner, Approved Architect, Approved Builder and, if necessary the Landscape Designer and Landscape Installer, stating the reasons for non-compliance. The Owner must have the work brought into compliance and submit a letter certifying completion must be submitted. A final follow-up inspection will then be performed. If the noted deficiency(s) has been corrected, the deposit less an additional administrative fee will be released.

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FEES, DEPOSITS, AND FINES

11.1 NEW HOME CONSTRUCTION SERVICES FEE AND ARB REVIEW FEES FOR PLANS CHANGES TO EXISTING HOMES FOR EXTERIOR AND LANDSCAPE REVISIONS

The fee for the review process as specified in Section 6.1 of the Declaration, for each new home covers the following:

- The ARB review process from conceptual plans through landscaping implementation, excepting an excessive number of design reviews (more than two submissions at the same stage), or as determined by the ARB
- Architects, general contractor and landscape contractor approval
- Inspections during the building process

The fee for the review process for each new plans change to existing homes for exterior and landscape revisions covers the following:

- The ARB review process from conceptual plans through landscaping implementation, excepting an excessive number of design reviews (more than two submissions at the same stage), or as determined by the ARB
- Architects, general contractor and landscape contractor approval
- Inspections during the building process

The new home construction services fee and ARB review fee are non-refundable.

11.2 CONTRACTOR COMPLIANCE DEPOSIT

The Approved Builder must pay a deposit to ensure the completion of construction in accordance with the approved plans as well as to meet the costs of repairing any excessive damage to the Community infrastructure caused by the Approved Builder or his material suppliers and subcontractors during the construction process. The deposit will be held by the ARB in a non-interest bearing account and will be refunded, less any set-offs, after the Completion Inspection. The deposit shall be kept whole until after the Final Certificate of Compliance has been issued.

11.3 OWNER COMPLIANCE DEPOSIT

The Owner must pay a deposit that may be drawn on by the ARB to repair damage to the Community property caused by the Owner, the Owner's Approved Builder and other agents of the Owner during the construction period. The deposit will be held by the ARB in a non-interest bearing account and will be refunded, less any set-offs, after the Completion Inspection. The deposit shall be kept whole until after the Completion Inspection. The deposit shall be kept whole until the Final Certificate of Compliance has been issued.

11.4 ALTERATIONS OR ADDITIONS TO EXISTING IMPROVEMENTS

An ARB review fee will be accessed to cover the review process for alterations or additions to existing improvements including landscape. Fees will be determined relative to the scope of the project. Completion deposits will be required from the general contractor and the Owner.

11.5 SCHEDULE OF FINES FOR VIOLATIONS

A fine may be levied when an Owner, Approved Builder or their agents, material suppliers and subcontractors violate any rule, regulation or covenant of Declaration and Guidelines. Such fines will be invoiced based on the nature of the violation. Violations and pertaining fines are listed in the ARB Form 1600 “Deposits, Fees, and Fines”.

Stop work orders or revocation of the Greenbrier Sporting Club Community Association Building Permit may occur for serious and/or repetitive violations.

A fine may be levied for violations including the following:

- Clearing of site without stakeout approval/ unauthorized tree removals; such actions could warrant expulsion of the Approved Builder and denial of further construction
- Construction does not conform to plans as approved by the ARB; such actions could warrant expulsion of the Approved Builder and denial of further construction
- Failure to build, finish and landscape in accordance with plans as approved by the ARB
- Occupying new house prior to completion (before issuance of the Certificate of Compliance)
- Work not completed in 12 months; extensions may be requested but must be approved by the ARB
- Landscaping not substantially complete beginning 60 days after the completion of improvements
- Failure to prevent water drainage and/or soil erosion control
- Parking or storage of materials in prohibited areas
- Damage to road pavement, curbs and road right-of-way
- Trespass onto adjoining lots or common property of equipment, material, storage, etc.
- Failure to provide adequate trash receptacles or failure to keep site clean of debris
- Failure to provide and properly site portable toilet as approved on site plan
- Loud music, foul or offensive language, or inappropriate personal behavior
- Failure to provide adequate clean-up of the roadway surrounding the construction site
- Permits not posted on site
- Carrying of firearms on Community or Greenbrier property
- Hunting or fishing on Community or Greenbrier property
- Unauthorized use of or sharing gate devices or cards
- Entering Community property when not working at your designated job site

- Modification to a structure without submission to or approval of the ARB

Note: The ARB can, at its discretion, levy fines for any violation to the Guidelines and the Declaration.

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NOTICES & ACKNOWLEDGEMENTS

The Architectural Review Board Manual is intended solely to provide guidance regarding certain architectural design characteristics that are either desired or required to be incorporated in the design of residences in the Community. The ARB Manual is not intended to constitute a complete list of all criteria that must be satisfied in order to render proposed designs acceptable in the Community, nor will compliance with all of the requirements and criteria set forth in the ARB Manual insure the approval of any particular design within the project which may be submitted to The Greenbrier Sporting Community for approval. The Greenbrier Sporting Community reserves the right to impose additional or different design requirements on any improvements to be constructed within the project.

No portion of the Guidelines may be reproduced in whole or in part without the express prior written consent of The Greenbrier Sporting Club.

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ARB CONTACT INFORMATION:

LINDA HIGHLANDER
ARB ADMINISTRATOR
5 KATE'S MOUNTAIN ROAD
WHITE SULPHUR SPRINGS, WV 24986

TELEPHONE: (304) 536-5330
FAX: (304) 536-7765
EMAIL: lhighlander@gbrsc.com
WEBSITE: www.thegreenbriersportingclub.com

12.1 HOWARD'S CREEK ADDENDUM – PATIOS & PORCHES

The Architectural Review Board discussed the general issue of terraces and patios for the Howard's Creek neighborhood during the June 15, 2005 ARB meeting. The ARB has determined that on-grade terraces at the rear with a seat wall and on-grade plantings on the downhill side would be generally acceptable. In general, patios may not exceed 12 feet in depth. The preference is that the terrace be located centrally at the rear of the residence so that site lines from adjacent residences are not impacted. In general, a patio/terrace may be permitted to extend to the sides of the central patio/terrace provided that this area is narrower than the center portion and meets with the ARB's approval. All patios/terraces must be submitted for ARB review as per standard ARB review procedures.

This determination is intended to give general guidelines to what may be permissible in the way of patios and terraces in the Howard's Creek neighborhood. The ARB understands that special situations may exist which require further consideration of the ARB.

The Architectural Review Board discussed the issue of open and screened porches at the rear elevations for the Howard's Creek neighborhood during the July 13, 2005 meeting. The ARB prefers that the screen porches for all homes be retained in order to preserve the visual transparency of the house at the rear elevation. In the event that a modification is requested, the ARB has established that, subject to review and approval of the specific modifications, a minimum of three (3) standard column bays of screened or open porch at the rear elevation shall always be retained for all of Howard's Creek.

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CHARTS & FORMS

CHARTS

- ARB1 APPROVAL PROCESS FLOW CHART
- ARB2 DESIGN STANDARDS MATRIX

FORMS

- ARB200 PROFESSIONAL QUALIFICATION STATEMENT
- ARB210 CONTRACTOR'S QUALIFICATION STATEMENT
- ARB300 APPLICATION FOR PLANS REVIEW
- ARB400 DRAINAGE COMPLIANCE AGREEMENT
- ARB500 VARIANCE REQUEST
- ARB600 PLANS CHANGE REQUEST FORM
- ARB700 TREE REMOVAL APPLICATION/PERMIT
- ARB800 CHECKLIST FOR FINAL REVIEW SUBMISSION
- ARB1000 SIGNAGE APPLICATION
- ARB1100 RULES AND REGULATIONS
- ARB1200 CONTRACTOR COMPLIANCE DEPOSIT AGREEMENT
- ARB1210 OWNER COMPLIANCE DEPOSIT AGREEMENT
- ARB1300 LETTER OF AGREEMENT
- ARB1400 INSPECTION REQUEST & CERTIFICATE OF COMPLIANCE
- ARB1600 DEPOSITS, FEES AND FINES
- ARB 1700 TIMELINE FOR CONSTRUCTION

TEMPLATES

- SIGNAGE TEMPLATE
- MARKETING TEMPLATE
- EXTERIOR FINISH MATERIAL MODEL TEMPLATE
- HOUSE SIGNAGE TEMPLATE

CHECKLISTS

- SDS CHECKLIST
- DDS CHECKLIST
- CDS CHECKLIST
- FIELD STAKING SPECIFICATIONS CHECKLIST